

WALLER COUNTY LIBRARY ADDITION

2331 11TH STREET, HEMPSTEAD, TEXAS 77445

DAHVAR

Construction and Design

Residential / Commercial / Remodel

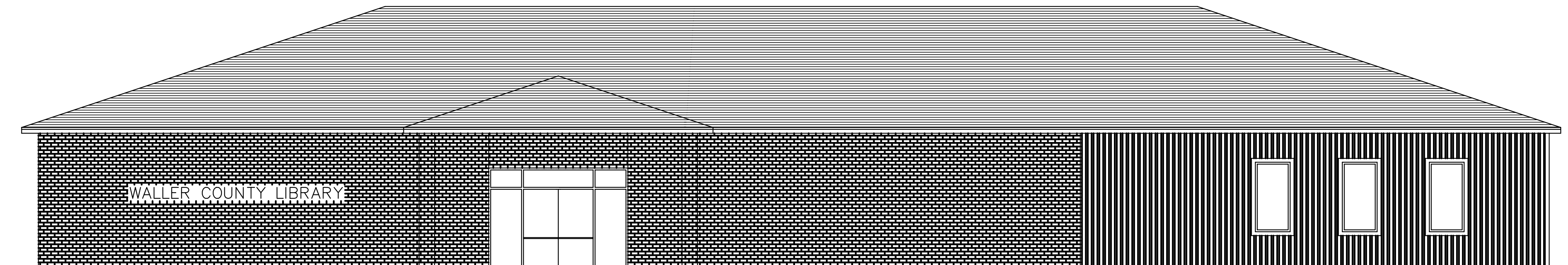
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DAHVAR HAKIMZADEH

DRAWING / SHEET INDEX

NOTE: ALL SHEETS ARE PART OF THIS 'SET' & NO SHEET IS TO BE CONSIDERED SEPARATE FROM THIS 'SET'. THIS SET MAY ALSO INCLUDE OTHER SHEETS NOT LISTED IN THIS INDEX SUCH AS STRUCTURAL ENGINEERING & TRUSS SHOP DRAWINGS. THIS SET MAY ALSO INCLUDE SHEETS BY OTHER CONSULTANTS SUCH AS MEP OR CIVIL ENGINEERING, MECHANICAL, OTHER SHOP DRAWINGS, LANDSCAPING, AUDIO-VISIO, ALARM SYSTEM, OR WHOLE HOUSE SYSTEM, INTERIOR DESIGN, SIGNAGE, ETC. VERIFY WITH THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY DEMOLITION OR CONSTRUCTION.

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- A0.1 NOTES, PROJECT SCOPE, CODES, OCCUPANCY CLASSIFICATION, CONSTRUCTION TYPE, GOVERNING JURISDICTION, ETC.
- A0.2 ADDITIONAL NOTES, SYMBOLS, LEGENDS & ABBREVIATIONS
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NEW STREET ELEVATION - EAST
 $3/16" = 1'-0"$

NOTE: ALL CONTRACTORS AND SUBCONTRACTORS MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON THESE PLANS PRIOR TO ANY DEMOLITION OR CONSTRUCTION, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE COMMENCING ANY/ALL WORK.

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PROJ. DATE : 04/8
 PROJECT NO : WCL 1349
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PROJECT:
 WALLER COUNTY LIBRARY
 HEMPSTEAD, TEXAS

SHEET
 03

PLOT DATE: 05/10/14

SHEET NUMBER DESIGNATION SEQUENCE*:

- * WHERE OR AS APPLICABLE
- CS COVER SHEET(S)
- C CIVIL
- L LANDSCAPE
- AB BUILDING DESIGN - AS-BUILT
- A BUILDING DESIGN
- I INTERIOR DESIGN
- F FIRE AND ALARM
- M MECHANICAL
- E ELECTRICAL
- P PLUMBING
- S STRUCTURAL

GENERAL INFORMATION :

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DOCUMENTS WILL NOT BE RELEASED FOR PERMIT/CONSTRUCTION UNTIL FEES ARE BROUGHT CURRENT AND OWNER HAS APPROVED/ACCEPTED THESE DOCUMENTS AS THE FINAL ISSUE. DAHVAR CONSTRUCTION WILL RESOLVE PERMIT REJECTIONS WHERE DAHVAR CONSTRUCTION & DESIGN WAS AT FAULT.

ADDITIONAL GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, CITY ORDINANCES, DEED RESTRICTIONS, ARCHITECTURAL CONTROL GUIDELINES, MANUFACTURER'S SPECIFICATIONS, DRAWING DETAILS, PLANS & ANY SPECIFICATIONS, IF PROVIDED (N.I.C.).
2. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED APPLICATIONS, PERMITS, & INSPECTIONS, ETC. FOR COMPLETION OF WORK. CONTRACTOR TO PROVIDE ALL WORK & MATERIAL IN ACCORDANCE WITH ALL ITEMS MENTIONED IN NOTE #1 ABOVE. PLAN EXPEDITER, IF NECESSARY, WILL ASSIST CONTRACTORS IN PULLING ALL PERMITS.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE BASE BUILDING SYSTEMS AND ANY U. L. ASSEMBLY RATINGS(S).
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DAHVAR CONSTRUCTION & DESIGN FOR A FIELD CHECK WHEN:
 - A. ANY UTILITY LINES HAVE BEEN SNAPPED, DAMAGED OR BROKEN.
 - B. GYPSUM WALL BOARD HAS BEEN INSTALLED ON ONE SIDE OF STUDS & TELEPHONE & ELECTRICAL OUTLETS HAVE BEEN LOCATED IN TENANT SPACE.
 - C. BUILD-OUT IS SUBSTANTIALLY COMPLETE FOR AN INSPECTION & PREPARATION OF PUNCH LIST. A FINAL WALK-THROUGH AND PUNCH LIST WILL ALSO BE REQUIRED AFTER MOVE-IN IS POSSIBLE.
5. PROVIDE TEMPORARY ELECTRICAL POWER FOR SMALL TOOLS & LIGHTING PER OSHA REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO CONFIRM TEMPORARY ELECTRICAL POWER CONDITIONS & RESPOND ACCORDINGLY TO PROVIDE TEMPORARY ELECTRICAL POWER. THE GC WILL SUPPLY WORKER TOILET FACILITIES.
6. SHOT BLAST CONC. FLOOR AFTER PLUMBING PATCH WORK. SEAL ALL FLOORS WITH EPOXY SEALER.

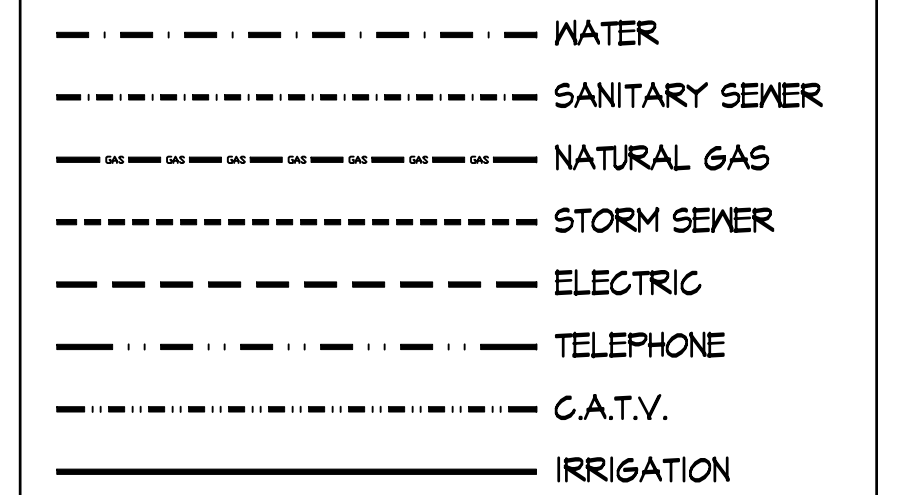
TYPICAL ABBREVIATIONS:

AFF	ABOVE FINISH FLOOR	DS	DOWNSPOUT	HWD	HARDWOOD	MTL	METAL	RON	RIGHT OF WAY	MI	MROUGHT IRON
ALUM	ALUMINUM	DWS	DRAINING	H.H.	HEADER HEIGHT	N	NUMBER	R	RADIUS	M.I.C.	WALK-IN-CLOSET
APPROX	APPROXIMATELY	EA	EACH	HT	HEIGHT	N.I.C.	NOT IN CONTRACT	R/A	RETURN AIR	NR	WATER RESISTANT
ARCH	ARCHITECT (URAL)	ELEC	ELECTRICAL	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	NTS	NOT TO SCALE	S/S	STAINLESS STEEL	HT	HEIGHT
ASPH	ASPHALT	EL	ELEVATION	ID	INSIDE DIAMETER	OA	OVERALL	SD	SMOKE DETECTOR	NP	WORK POINT
A/C	AIR CONDITIONING	EQUIP	EQUIPMENT	INCL	INCLUDE	OC	ON CENTER	SECT	SECTION	N/	NITH
A/V	AUDIO VISUAL/VIDEO	EQ	EQUAL	INFO	INFORMATION	OD	OUTSIDE DIAMETER	SF	SQUARE FEET		
BD	BOARD	EM	EACH MAY	INT	INTERIOR	OPNG	OPENING	SHT	SHEET		
BLDG	BUILDING	EXH	EXHAUST	IN	INCH	OPP	OPPOSITE	SIM	SIMILAR		
BLKS	BLOCKING	EXIST	EXISTING	JT	JOINT	O/A	OUTSIDE AIR	SPEC	SPECIFICATION		
CAB	CABINET	EXT	EXTERIOR	LAM	LAMINATE (D)	PART	PARTITION	SQ	SQUARE		
CL6	CEILING	FD	FLOOR DRAIN	L6TH	LENGTH	PLBG	PLUMBING	SS	STAINLESS STEEL		
CLR	CLEAR	FIN	FINISH (ED)	LH	LEFT HAND	PLND	PLYWOOD	STD	STANDARD		
COL	COLUMN	FIXT	FIXTURE	LL	LIVE LOAD	PNL	PANEL	STL	STEEL		
CONC	CONCRETE	FLR	FLOOR	LT	LIGHT	PR	PAIR	ST6	STORAGE		
CONST	CONSTRUCTION	FLUOR	FLUORESCENT	MATL	MATERIAL	PSF	POUNDS PER SQ. FOOT	STRUCT	STRUCTURE (AL)		
CONTR	CONTRACTOR	FRP	FIBERGLASS RESILIENT PANEL(S)	MAX	MAXIMUM	PSI	POUNDS PER SQ. INCH	TC	TOP OF CURB		
CONT	CONTINUOUS	FT6	FOOTING	MEGH	MECHANICAL	PTD	PAINTED	TEL	TELEPHONE		
C.O.	CASE OPENING	FT	FOOT (FEET)	MEGH	MECHANICAL	PVC	POLYVINYL CHLORIDE	THK	THICK (NESS)		
DBL	DOUBLE	FURR	FURRED (ING)	MEP	MECH / ELECTRICAL /	PL	PROPERTY LINE	TV	TELEVISION		
DIA	DIAMETER	GC	GENERAL CONTRACTOR	FLUMB	FLUMBING	RAG	RETURN AIR GRILLE	TYP	TYPICAL		
DIM	DIMENSION	GEN	GENERAL	MIN	MINIMUM	REG	RECESSED	UNO	UNLESS NOTED OTHERWISE		
DISP	DISPOSAL	GL	GLASS, GLAZING	MISC	MISCELLANEOUS	REINF	REINFORCED	VGT	VINYL COMPOSITION TILE		
DN	DOWN	GYP	GYPSUM	MTD	MOUNTED	REQ'D	REQUIRED	WC	WATER CLOSET		
DR	DOOR	HB	HOSE BIBB	MT6	MOUNTING	REV	RECEIVED	WD	WOOD		

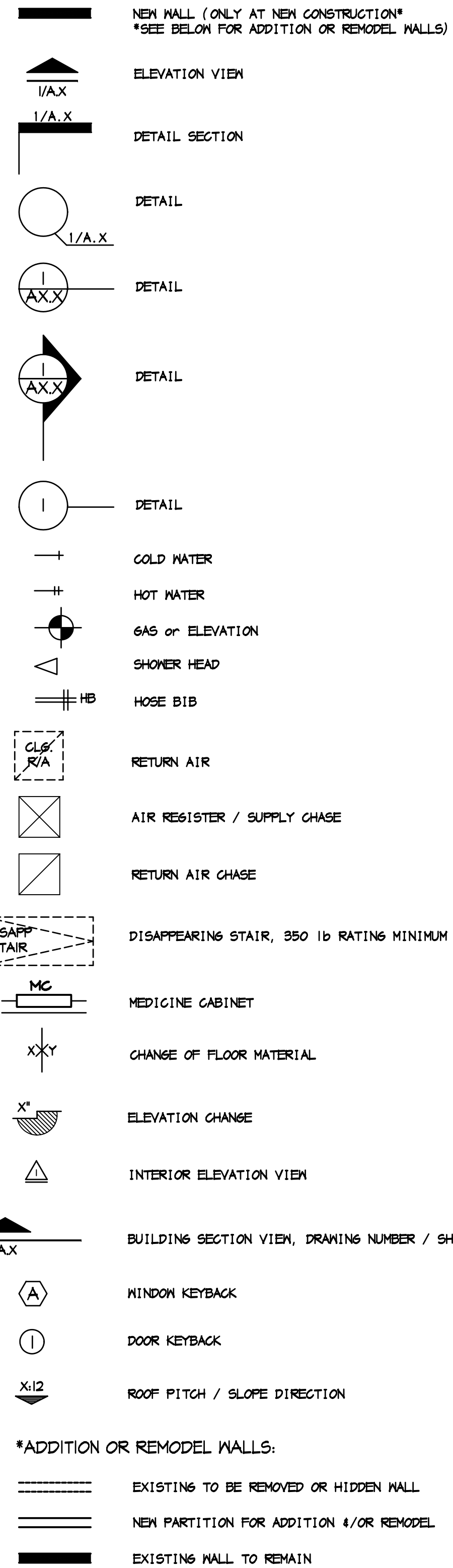
TYPICAL MOUNTING HEIGHTS

- | | |
|--------------------------|---------------------------|
| 1. SHOWER HEAD | 64" ABOVE DRAIN |
| 2. CERAMIC TILE SURROUND | 6'-6" A.F.F. |
| 3. SOAP & GRAB | 3'-0" A.F.F. |
| 4. 18" TOWEL BAR IN TUB | 5'-0" A.F.F. |
| 5. 18" OR 24" TOWEL BAR | 4'-0" A.F.F. |
| 6. TISSUE PAPER HOLDER | 2'-0" A.F.F. |
| 7. MEDICINE CABINET | 5'-0" A.F.F. @ CENTERLINE |

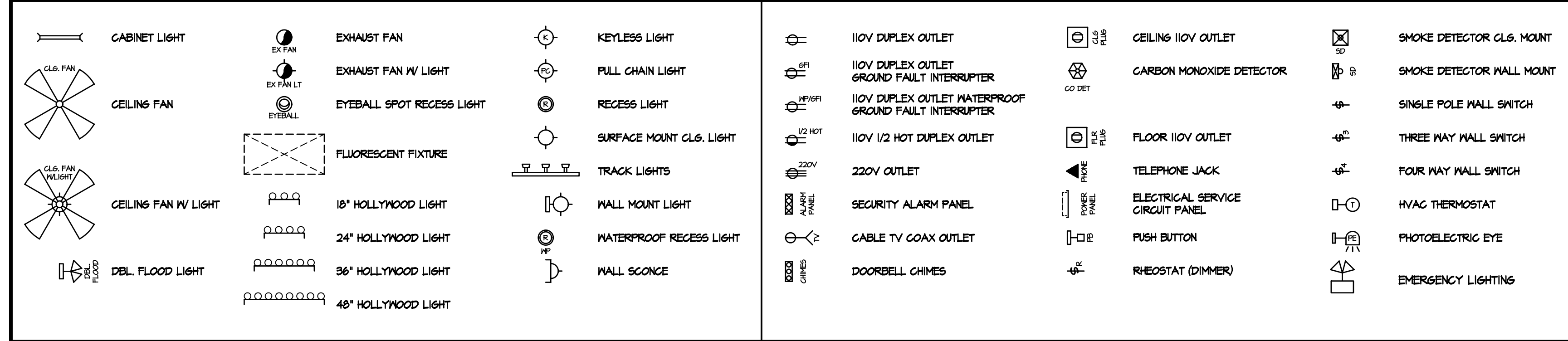
SITE UTILITY LEGEND:



PLAN LEGEND



ELECTRICAL SYMBOL LEGEND



SITE PLAN GENERAL NOTES (UNLESS NOTED OTHERWISE):

- WHERE # IF APPLICABLE REFER TO THE SITE PLAN FOR MORE SPECIFIC & ADDITIONAL INFORMATION (CIVIL, STRUCTURAL & GEOTECHNICAL ENGINEERING PREVAILS)
1. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES OR OMISSIONS IN THE PLANS, THEN DCD SHOULD BE NOTIFIED IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO STARTING CONSTRUCTION.
 2. CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED FROM GOVERNING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES & ORDINANCES, ARCHITECTURAL CONTROL, AS WELL AS MINIMUM PROPERTY STANDARDS BY HUD.
 4. CONTRACTOR SHALL CONFIRM EXACT LOCATIONS & LENGTHS OF ALL UNDERGROUND & AERIAL UTILITIES & SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - A. STORM SEWER
 - B. SANITARY SEWER
 - C. WATER LINES
 - D. ELECTRICITY
 - E. TELEPHONE
 - F. C.A.T.V.
 - G. SECURITY
 - H. IRRIGATION
 - I. NATURAL GAS
 - J. SATELLITE TRANSMISSION
 - K. RADIO/TELEVISION TRANSMISSION
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING & PROTECTING ALL ABOVE MENTIONED ITEMS EXCEPT WHERE DEMOLITION IS INDICATED OR REQUIRED OF THE PARTICULAR UTILITY.
 6. COORDINATE WITH ALL SPECIFIC SITE RELATED CONTRACTORS.
 7. CONTRACTOR SHALL COORDINATE STORM SEWER CONSTRUCTION WITH ALL OTHER UNDERGROUND UTILITIES TO AVOID CONFLICT.
 8. CLEARING & STRIPPING:
 - STRIP SURFACE OF SITE UNDER BUILDING AREAS, (IF # WHERE APPLICABLE), UNDER PAVED AREAS & AREAS TO BE CONVERTED WITH SITE IMPROVEMENTS TO A DEPTH OF 4 INCHES BUT SUFFICIENT TO CLEAR VEGETATION, ROOTS & DEBRIS. STRIP SURFACE OF SITE AT AREAS THAT ARE TO BE LEFT OPEN BUT WILL BE COVERED WITH FILL, TO A DEPTH OF 4 INCHES.
 9. GRABBING:
 - REMOVE STUMPS, ROOTS OVER 4 INCHES IN DIAMETER & MATTED ROOTS WITHIN THE LIMITS OF CLEARING TO THE FOLLOWING DEPTHS:

UNDER FOOTINGS	18 INCHES
UNDER WALLS	12 INCHES
UNDER ROADS	18 INCHES
UNDER PARKING, SIDEWALKS & PATIOS	12 INCHES
UNDER LAWN & DECKED AREAS	8 INCHES
UNDER FILL	2 INCHES
UNDER FOOTING & ROADS WILL BE CONSTRUCTED ON FILL	18 INCHES
 10. FILL:
 - PRIOR TO PLACING ANY FILL, ALL CLEARING & GRABBING OPERATIONS SHALL HAVE BEEN COMPLETED ON THE AREAS WHERE THE FILL IS TO BE PLACED.
 11. STUMP HOLES OR OTHER SMALL EXCAVATIONS IN THE LIMITS OF EMBANKMENTS SHALL BE BACK-FILLED WITH SUITABLE MATERIAL & THOROUGHLY TAMPED BY APPROVED METHODS. THE FILLING MATERIAL SHALL HAVE A PLASTICITY INDEX OF NOT GREATER THAN 20%. FILL SHALL BE COMPACTED IN UNIFORM LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS LOOSELY MEASURED. EACH LAYER SHALL EXTEND ACROSS THE ENTIRE FILL AREA & SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY BETWEEN OPTIMUM MOISTURE CONTENT BY 2% ABOVE MOISTURE CONTENT. FILL MATERIAL DEPOSITED IN PLACE BY MEANS OF SCRAPERS, DUMP TRUCKS, OR SIMILAR EQUIPMENT SHALL BE THOROUGHLY BROWN UP BEFORE BEING SPREAD INTO UNIFORM LAYERS.
 12. ALL CONCRETE SHALL BE CLASS "A", 3000 P.S.I., # 28 BARS.
 13. ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4 OF AN INCH.
 14. ALL DIMENSIONS RELATING TO REINFORCING STEEL ARE TO THE CENTER OF OF BARS UNLESS OTHERWISE NOTED.
 15. ALL INLETS SHALL BE CONCRETE.
 16. SIZE OF INLETS TO BE DESIGNATED BY WIDTH OF CLEAR OPENING.
 17. DOWELS SHALL HAVE ONE END WRAPPED IN ROOFING FELT TO PREVENT BONDING.
 18. CONSTRUCTION OF SANITARY SEWERS CROSSING WATER LINES SHALL BE GOVERNED BY RULES & REGULATIONS FOR PUBLIC WATER SYSTEMS PRINTED BY TEXAS DEPARTMENT OF WATER HYGIENE, AUGUST 1978, (OR THE MOST RECENT PRINTING).
 19. SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 5 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE, 4 1/2 INCHES THICK (MINIMUM), 4 FOOT MINIMUM WIDTH WITH 6 x 6 x 10 NOVEN WIRE MESH.
 20. DRIVEWAYS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 5 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE, 6 INCHES THICK (MINIMUM), FROM CURB OF STREET TO PROPERTY LINE & BE REINFORCED WITH MINIMUM 3/8 INCH DIAMETER STEEL BARS AT 24 INCHES C-C EACH WAY WITH 10 INCH LAPS, OR EQUIVALENT WELDED WIRE FABRIC.
 21. CURBS & GUTTERS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 2 INCHES (1 INCH NOMINAL) OR 1/2 INCH NON-EXTENDING PRE-FORMED JOINTS AT INTERVALS OF 36 INCHES MAXIMUM THROUGHOUT ENTIRE LENGTH OF SIDEWALKS, 4' OR NEW OR EXISTING DRIVEWAYS.
 22. THE AREAS BETWEEN SIDEWALKS & RIGHT-OF-WAYS, & THE AREAS BETWEEN DRIVEWAYS FROM BACK OF SIDEWALKS, MAY BE CONCRETE, DIRT, OR VEGETATION REFER TO LANDSCAPING, IRRIGATION, MEP, SWIMMING POOL, CIVIL & SITE PLANS, FOR ALL OTHER PERTINENT INFORMATION.
 23. REFER TO ALL CONSTRUCTION DRAWING DETAILS ON ALL APPROPRIATE SHEETS FOR SPECIFIC INFORMATION THAT MAY SUPERSEDE THESE NOTES.
 24. THE TOP OF FOUNDATION SHALL BE A MINIMUM OF 12 INCHES ABOVE THE NEAREST SANITARY SEWER MANHOLE COVER UNLESS NOTED OTHERWISE OR A VARIANCE IS GRANTED FOR NEW OR EXISTING CONSTRUCTION OR REMODEL.
 25. CONSTRUCTION STANDARDS SHALL CONFORM WITH ALL CONSTRUCTION SPECIFICATIONS & OR MANUFACTURER'S RECOMMENDATIONS.
 26. VERIFY ALL METES & BOUNDS OF THE PROPERTY BEFORE COMMENCEMENT OF CONSTRUCTION.
 27. ANY SPECIFIC CONDITIONS ENCOUNTERED THAT IS NOT ON THE APPROPRIATE PLANS, SHALL IMMEDIATELY BE REPORTED TO DCD BEFORE ANY DEMOLITION, NEW CONSTRUCTION OR REMODELING SHALL COMMENCE.
 28. THE CONCRETE BASE OF MANHOLES SHALL BE ALLOWED TO SET A MINIMUM OF 12 HOURS BEFORE PLACING ADDITIONAL CONCRETE.
 29. MANHOLE WALLS TO BE PRE-CAST CONCRETE.
 30. TOP OF MANHOLES & INLETS SHALL CONFORM TO FINISHED GRADE.
 31. GRADES SHALL VARY UNFORMLY BETWEEN SPOT ELEVATIONS, UNLESS NOTED OTHERWISE.
 32. THE FINISHED SURFACE OF WHEELCHAIR/MANICAP RAMP SHALL BE TO BE GROOVED LATERALLY WITH 1/4 INCH HOPE BY 1/4 INCH DEEP GROOVES SPACED 3 1/4 INCHES ON CENTER & ROUGHENED WITH NO LESS THAN A BROOM FINISH TO PREVENT SLIPPING & TO DIFFERENTIATE ITS TEXTURE FROM THAT OF THE STANDARD & ADJACENT SIDEWALKS, DRIVEWAYS & ROADS.
 33. REFER TO CIVIL, FIRST FLOOR (ALL) & FORMING PLANS FOR OTHER INFORMATION NOT SHOWN ON THIS SHEET.
 34. TYPE "K" COPPER TUBING NOT ALLOWED.
 35. WATER RISER MUST BE METAL & ABOVE GROUND, SCHEDULE 40 PVC MAY BE USED FOR WATER DISTRIBUTION OUTSIDE-UNDERGROUND ONLY.
 36. ALL REINFORCED FLATWORK CONCRETE SUCH AS DRIVEWAYS, PARKING APRONS, DRIVEWAY APPROACHES, CURB CUTS, PUBLIC & PRIVATE SIDEWALKS, RAMP, PATIOS & STOOPS, ETC. MUST COMPLY TO ALL LOCAL CODES, ORDINANCES.
 37. SEPARATE PERMITS MAY BE REQUIRED FOR THE FOLLOWING:
 - A. SWIMMING & REFLECTION POOLS, HOT TUBS, FOUNTAINS & SIMILAR ITEMS.
 - B. IRRIGATION SYSTEMS
 - C. DRIVEWAY, CURB CUTS, DRIVE APPROACHES, PARKING APRONS
 - D. FENCES
 - E. SITE DRAINAGE
 - F. PUBLIC & PRIVATE SIDEWALKS
 - G. WATER & SEWER TAPS
 38. PROVIDE FOR AT LEAST ONE "QUALIFIED" TREE IN THE DEFINED "FRONT YARD".
 39. THE REMOVAL, DAMAGE OR DEATH OF ANY LARGE TREES, EXCEPT AS AUTHORIZED BY AN APPROVED "TREE DISPOSITION PLAN" IS MAY BE PROHIBITED, VERIFY, BY AN APPROVED "TREE SURVEY" & "TREE DISPOSITION PLAN" FOR TREE DRIP LINES.
 40. REFER TO "TREE SURVEY" & "TREE DISPOSITION PLAN" FOR TREE DRIP LINES.
 41. LOT GRADING TO FULLY DRAIN LOT TO STREET & NOT TO ADJACENT PROPERTIES.
 42. MAXIMUM SIZE OF DRAIN THROUGH CURBS TO BE 4 INCHES.
 43. UNDERGROUND DRAINAGE SYSTEMS TO DRAIN LOT TO THE STREET & NOT TO ADJACENT PROPERTIES, 4 INCH # PVC, MINIMUM SIZE.
 44. GUTTER TO DOWNPOUT CONNECTION TO BE 4 INCHES.
 45. RAISE SLABS & GRADES TO CONFORM TO SURROUNDING RESIDENCES' DRIVEWAYS, PARKING APRONS, DRIVEWAY APPROACHES, PATIOS, STOOPS, PUBLIC & PRIVATE SIDEWALKS AS PER LOCAL CODE ORDINANCES & STANDARDS.

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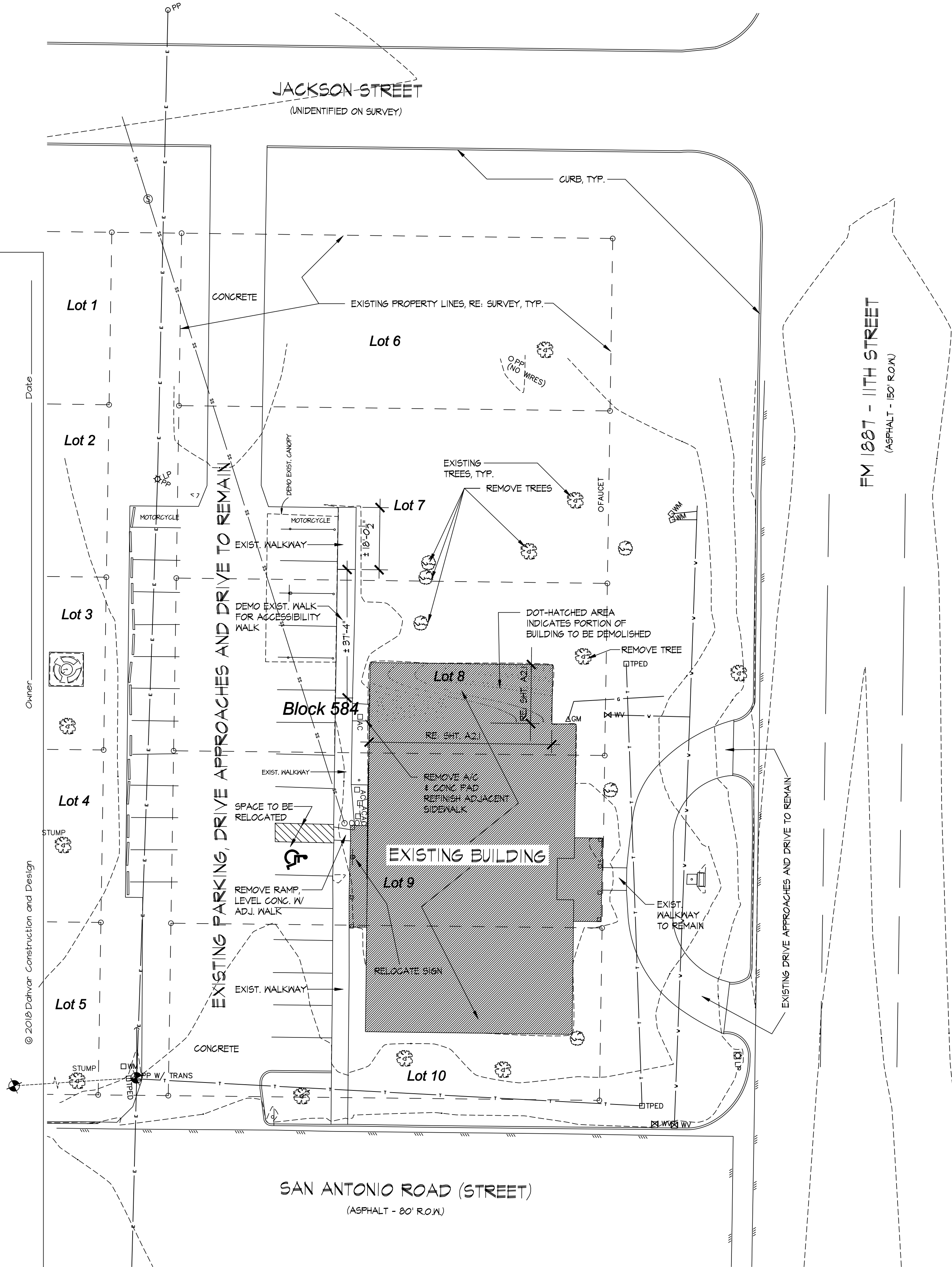
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WALLER COUNTY LIBRARY ADDITION
HEMPSTEAD, TEXAS

PROJECT: SHEET
A02

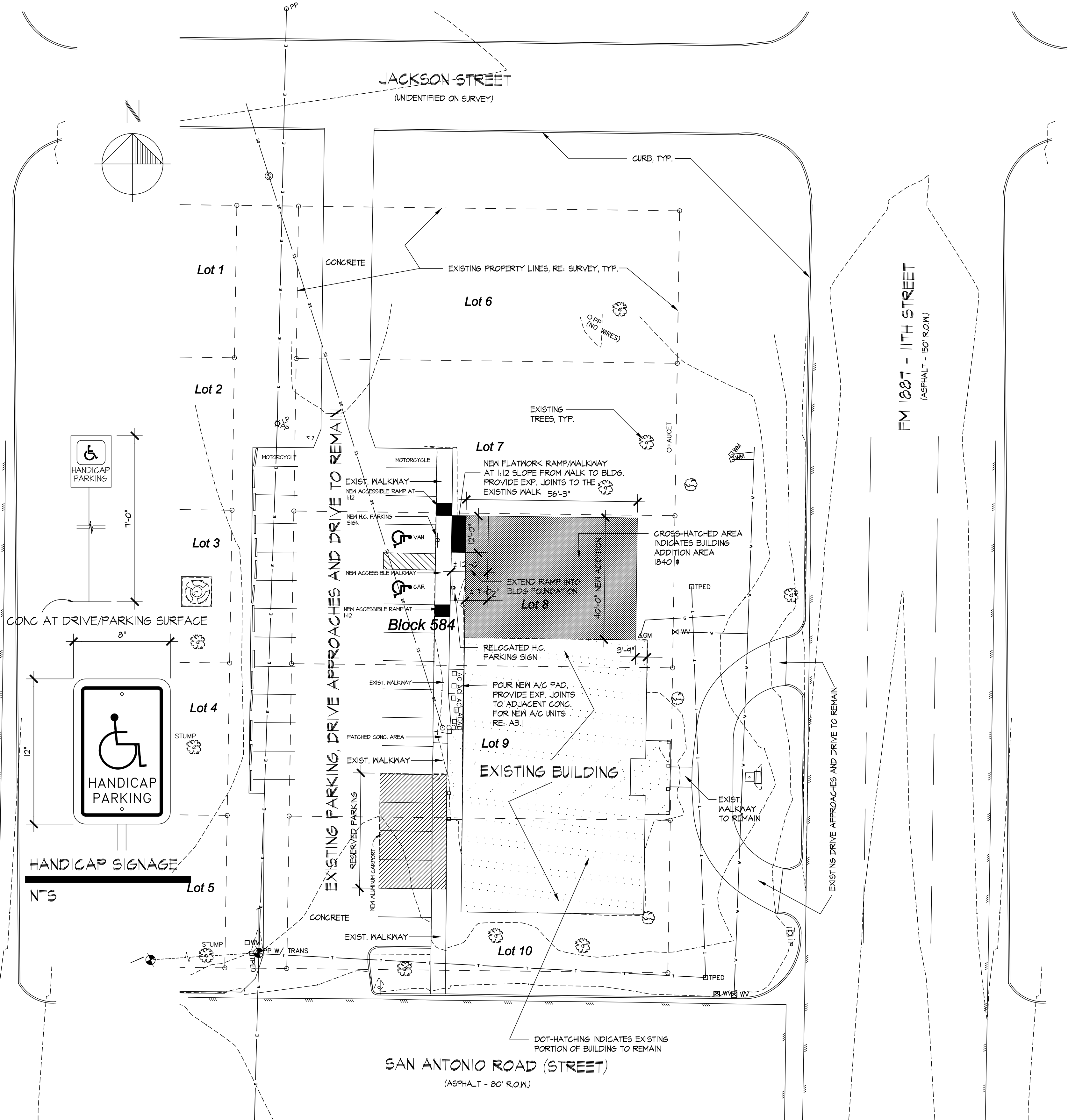
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EXISTING SITE PLAN - WITH DEMOLITION

1" = 20'-0"

2331 11TH STREET, HEMPSTEAD, TEXAS 77445
 REFER TO EXISTING SURVEY / TOPO
 NOTE: NO METES & BOUNDS DESCRIPTIONS PROVIDED.
 EXIST. PARKING TO REMAIN, SOME SPACES TO BE RESTRIPIED.



NEW SITE PLAN (SEE PARKING ANALYSIS SHT. A0.1)

1" = 20'-0"

2331 11TH STREET, HEMPSTEAD, TEXAS 77445
 REFER TO EXISTING SURVEY / TOPO
 NOTE: NO METES & BOUNDS DESCRIPTIONS PROVIDED.

Legend	
—	Electric Line
—	Water Line
—	Gas Line
—	Sanitary Sewer Line
—	Telephone Line
—	Edge of Pavement
○	Power Pole
○	Gay Wire
○	A/C Conditioner
○	Clean Out
○	Gas Meter
○	Light Pole
○	Sign
○	Telephone Pedestal
○	Water Meter
○	Water Valve
○	Sanitary Sewer Manhole
○	Tree
○	Ornamental Plant
○	Benchmark
○	Control Point

PROJ. DATE : 04/18
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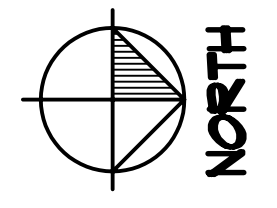
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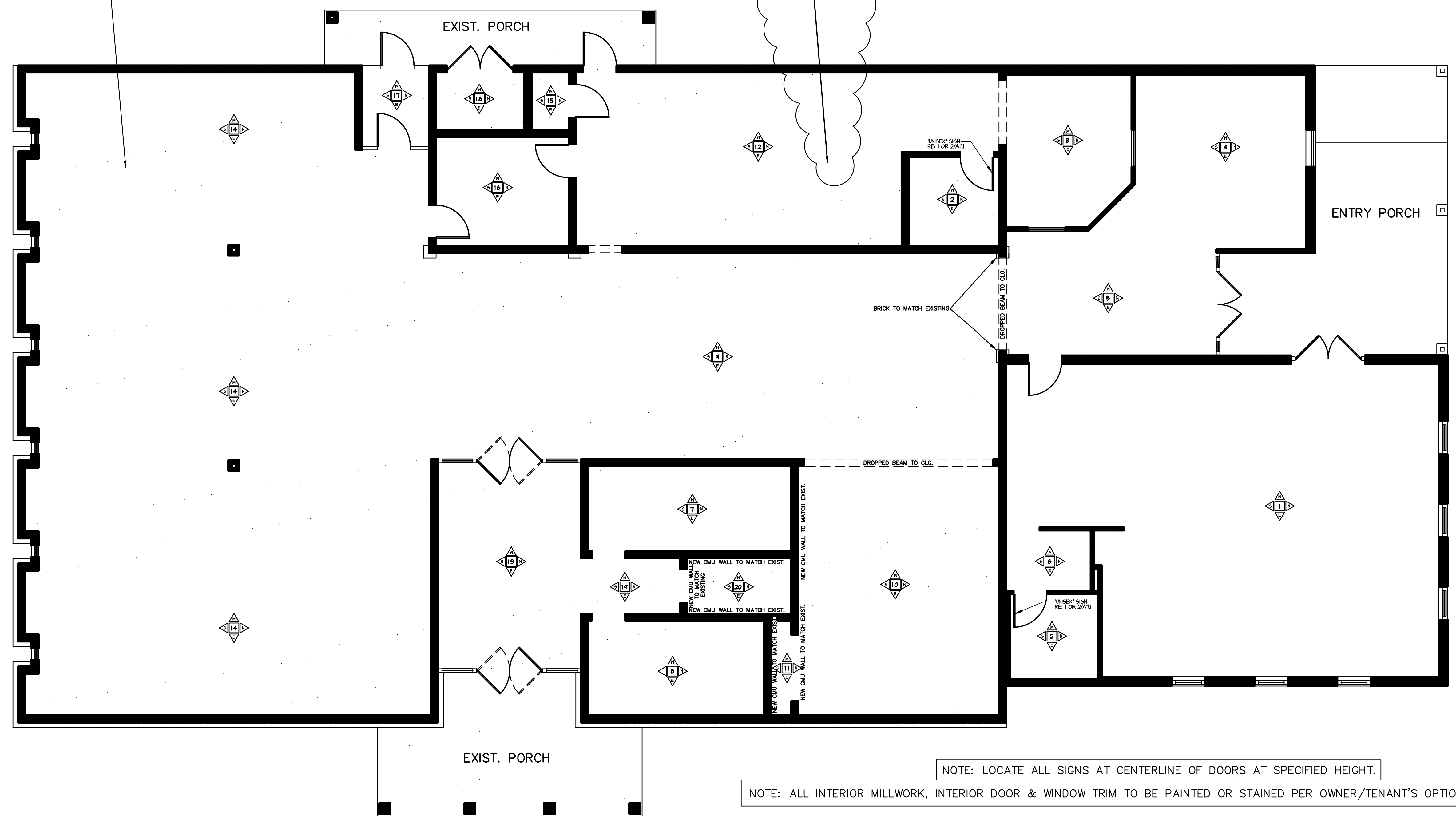
FOUNDATION TO COMPLY WITH FOLLOWING TO BE SUPERSEDED BY ENG. DRG. FOUNDATION LAYOUT ONLY

FOUNDATION TO COMPLY WITH FOLLOWING:
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DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

POSSIBLE ALTERNATE REMODEL CONDITIONS:
1 - REPAINT ALL EXISTING NON-DEMOLD. WALLS.



NOTE: ALL INTERIOR MILLWORK, INTERIOR DOOR & WINDOW TRIM TO BE PAINTED OR STAINED PER OWNER/TENANT'S OPTION &/OR SELECTION.

ADDITION WALL FINISH PLAN WITH ADA HANDICAP SIGNAGE LOCATIONS
3/16" = 1'-0"

#	ROOM OR AREA	NORTH	SOUTH	EAST	WEST	NOTES	TEXTURE	COLOR	POSSIBLE FINAL FINISHES
1	NEW MEETING ROOM	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
2	UNISEX RESTROOMS	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
3	OFFICE	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
4	BUSINESS CENTER	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
5	FOYER 2	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
6	NEW VESTIBULE	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
7	EXISTING MEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTING				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
8	EXISTING WOMEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTING				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
9	EXISTING CHILDREN, NEW READING LOUNGE/FRONT DESK	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
10	EXISTING MEETING ROOM, NEW HIGH SCHOOL AREA	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
11	STORAGE 2	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				MATCH STORAGE 1, SEE COLOR	MATCH STORAGE 1, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION
12	STAFF WORK ROOM	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
13	EXISTING FOYER, NOW FOYER 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
14	EXISTING BOOKS & NEW CHILDREN'S AREA	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
15	CLOSET	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
16	EXISTING STORAGE, NOW STORAGE 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
17	EXISTING EMPLOYEE ENTRY	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
18	EXISTING MECHANICAL	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE			OWNER / TENANT OPTION	OWNER / TENANT OPTION
19	EXISTING HALL	N/A	N/A	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
20	STORAGE 3	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				MATCH STORAGE 1, SEE COLOR	MATCH STORAGE 1, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION

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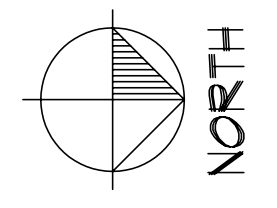


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HEMPSTEAD, TEXAS

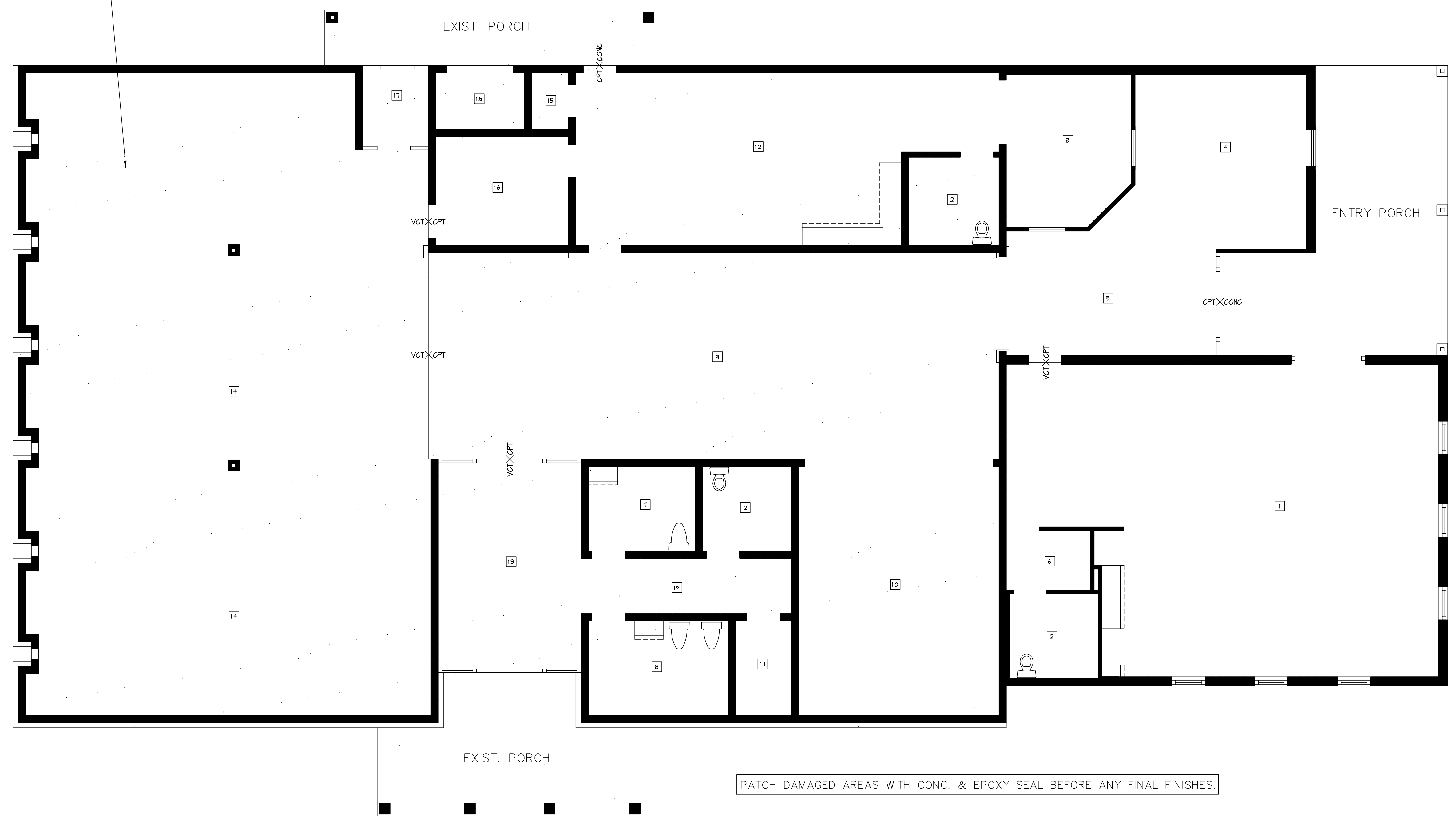
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DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

NOTE: ALL NEW FLOOR BASES MATCH EXISTING INTERIOR FLOORING BASES WITH AREAS WITH NO CHANGE TO FLOORING.



ADDITION FLOOR & BASE FINISH PLAN
3/16" = 1'-0"

#	ROOM OR AREA	FLOOR FINISH & FLOOR PATTERN	TYPE	MANUFACTURER	PRODUCT STYLE	NOTES
1	NEW MEETING ROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	
2	UNISEX RESTROOMS	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	
3	OFFICE	CARPET	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	
4	BUSINESS CENTER	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
5	FOYER 2	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
6	NEW VESTIBULE	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	
7	EXISTING MEN'S RESTROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA, MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE
8	EXISTING WOMEN'S RESTROOM	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA, MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE
9	EXISTING CHILDREN, NEW READING LOUNGE/Front DESK	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
10	EXISTING MEETING ROOM, NEW HIGH SCHOOL AREA	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
11	STORAGE 2	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA, MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE
12	STAFF WORK ROOM	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
13	EXISTING FOYER, NOW FOYER 1	NO CHANGE	EXISTING	NO CHANGE	NO CHANGE	
14	EXISTING BOOKS & NEW CHILDREN'S AREA	NO CHANGE	EXISTING	NO CHANGE	NO CHANGE	
15	CLOSET	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
16	EXISTING STORAGE, NOW STORAGE 1	CARPET	COMMERCIAL GRADE		*OWNER / TENANT SELECT OPTION	
17	EXISTING EMPLOYEE ENTRY	NO CHANGE	EXISTING	NO CHANGE	NO CHANGE	
18	EXISTING MECHANICAL	NO CHANGE	EXISTING	NO CHANGE	NO CHANGE	
19	EXISTING HALL	MATCH EXISTING INTERIOR FLOORING WITH AREAS WITH NO CHANGE	VCT	IF ORIGINAL EXISTING UNAVAILABLE, MATCH ANOTHER	*OWNER / TENANT SELECT OPTION	PATCH OR REPLACE WHOLE AREA, MATCH PATTERN WITH EXISTING ADJACENT PATTERN SO AS TO NOT NOTICE A TRANSITION VISUALLY AS BEST AS POSSIBLE

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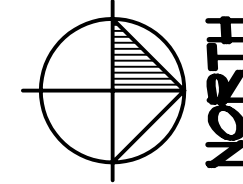


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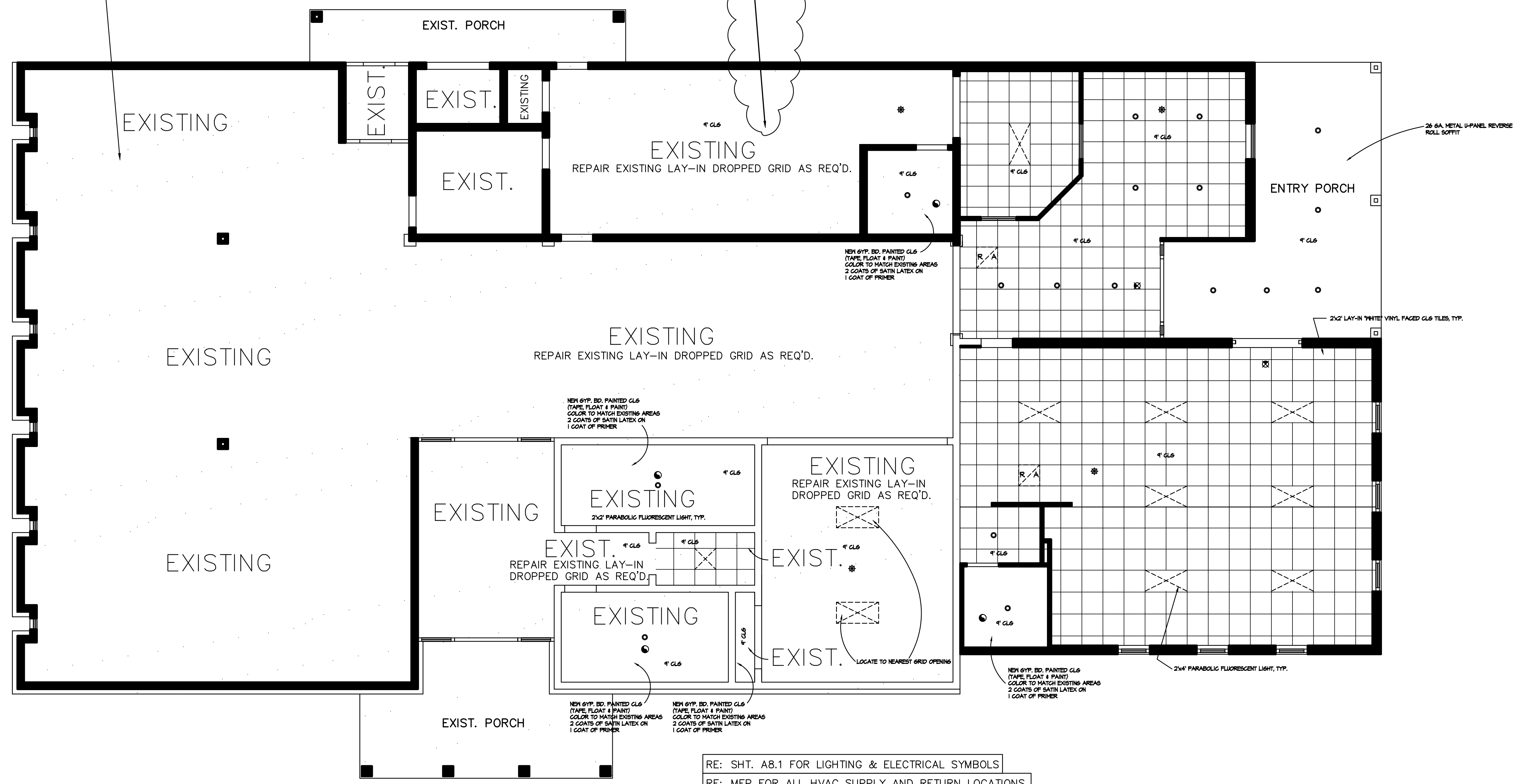
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DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

POSSIBLE ALTERNATE REMODEL CONDITIONS:
 1 - REPLACE ALL DROPPED CEILING TILES.
 2 - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).
 3 - HIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.
 4 - REPAINT ALL NON-DEM'D. CEILINGS (WHERE APPLICABLE).



RE: SHT. A8.1 FOR LIGHTING & ELECTRICAL SYMBOLS
 RE: MEP FOR ALL HVAC SUPPLY AND RETURN LOCATIONS.

ADDITION REFLECTED CEILING PLAN
 3/16" = 1'-0"

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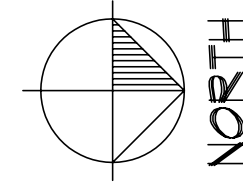
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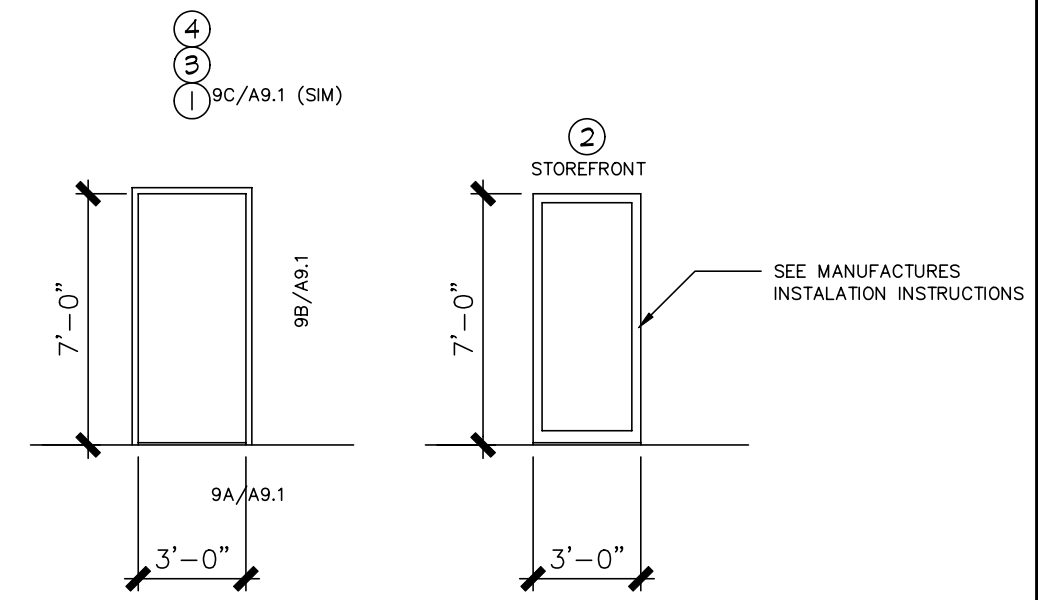
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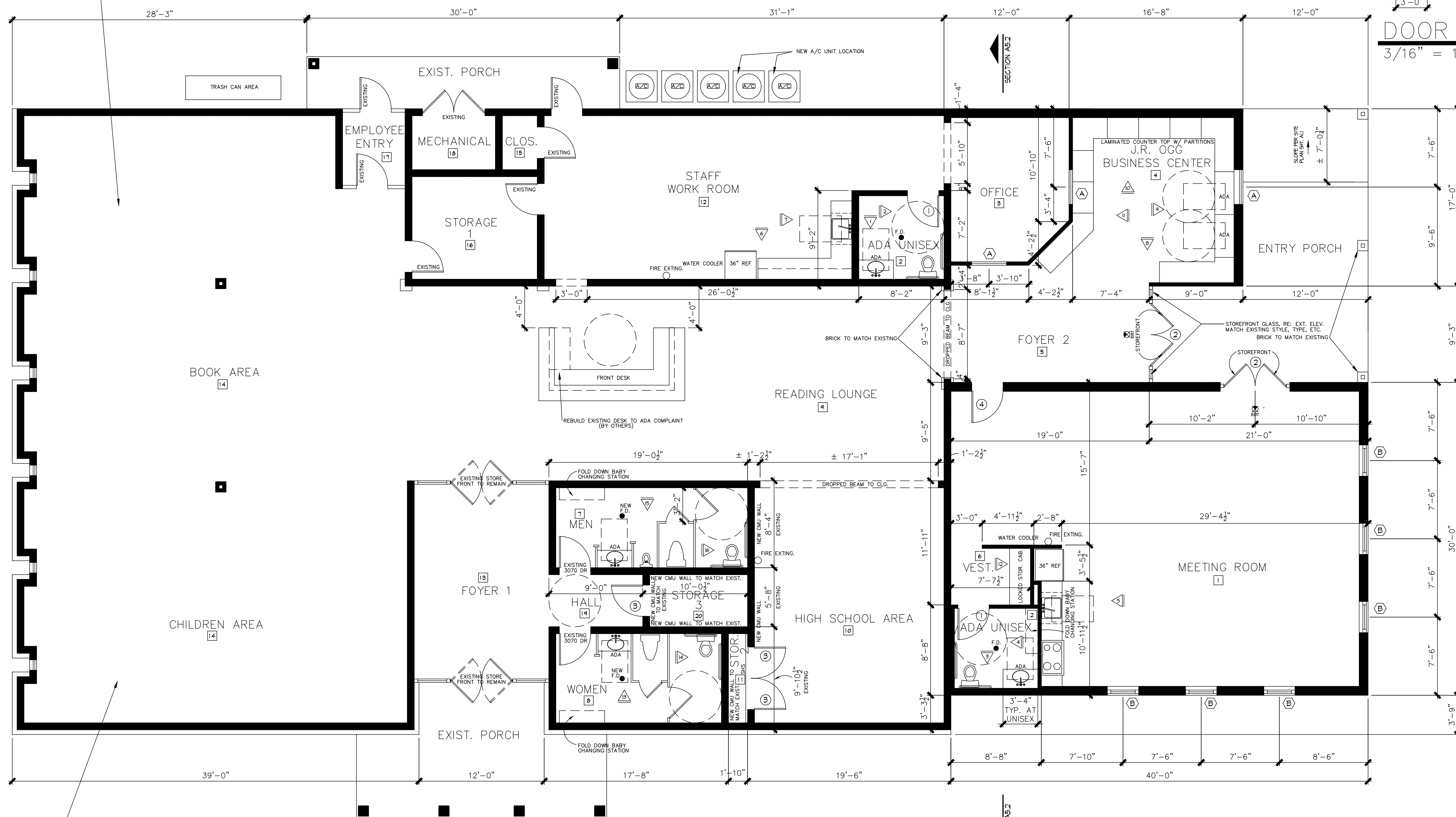
DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

#	SIZE	TYPE	NOTES / HARDWARE	STYLE
1	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.O.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE PRIVACY PASSAGE SET	SELECTED BY TENANT
2	2'-3"x7' (2-3070 36" x 84")	METAL FRAME STOREFRONT (TEMP. GLASS)	MAGNETIC, PANIC BAR, DOOR STOP, CLOSER, ADA APPROVED, DBL. CYLINDER LOCKSET	MATCH EXISTING STOREFRONT GLASS
3	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.O.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE, SINGLE CYLINDER LOCK SET	SELECTED BY TENANT
4	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.O.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE, DOUBLE CYLINDER LOCK SET	SELECTED BY TENANT



DOOR ELEVATIONS

3/16" = 1'-0"



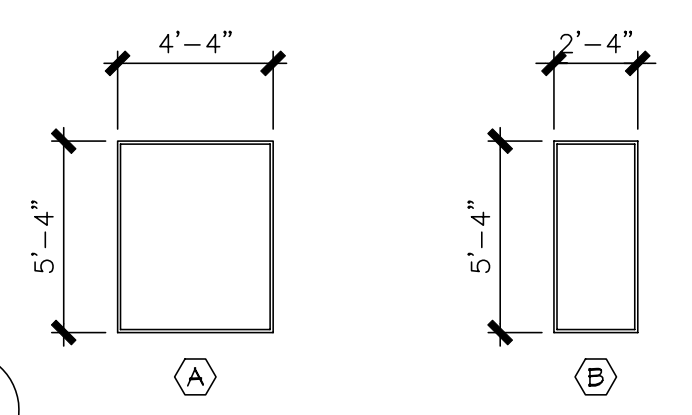
ACCESSIBILITY NOTES

- All work shall conform to Article 192, Texas Civil Statutes, Texas Accessibility Standards.
- Maneuvering clearances at doors shall be as follows:
 PULL SIDE w/ Front Approach—min. 18" clear from strike to nearest obstruction, with a clear floor area of 60" minimum in front of wall plane.
 PUSH SIDE w/ Front Approach—min. 12" clear from strike to nearest obstruction if door has both latch and closer, with a clear floor area of 48" minimum in front of wall plane.
 PULL SIDE w/ Side Approach—min. 36" clear from strike to nearest obstruction when the clear floor area in front of wall plane is 60" minimum; when the clear floor area is 54" minimum, then strike clearance must be 42".
 PUSH SIDE w/ Side Approach—min. 42" clear floor area in front of wall plane (min. 48" if door has both a latch and closer) and 54" minimum width from strike to nearest obstruction.
 PULL SIDE w/ Latch Side Approach—min. 48" clear floor area in front of wall plane (min. 54" if door has a closer) and 24" minimum width from strike to nearest obstruction.
 PUSH SIDE w/ Latch Side Approach—min. 42" clear floor area in front of wall plane (min. 48" if door has both a latch and closer) and 24" minimum width from strike to nearest obstruction.
- Floor level changes, such as thresholds, between 1/4" and 1/2" vertical, shall be beveled with a slope no greater than 1:2. Level changes greater than 1/2" shall be treated as a ramp.
- All doors shall have lever style hardware. Adjust all door closers so that the sweep period from an open position of 70° is at least three seconds to a point 3" from the latch. Adjust all door closers on interior doors for a maximum pulling or pushing force of 5 lbs.; all exterior doors 8 lbs.
- All toilet facilities are new and fully accessible as noted and shown herein.
- Unless noted otherwise all wall outlets are to be located 15" A.F.F. Unless noted otherwise all wall light switches are to be located 48" A.F.F.
- Owner's Fire Alarm (if any) shall comply with audible and visual requirements of ADA.
- Any object projecting from a wall in a primary circulation path shall protrude no more than 4" into the walk path, when such object is mounted between 27" and 80" A.F.F.
- Any signage supplied by Owner shall comply with Accessibility requirements.

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ADDITION FLOOR PLAN

3/16" = 1'-0"

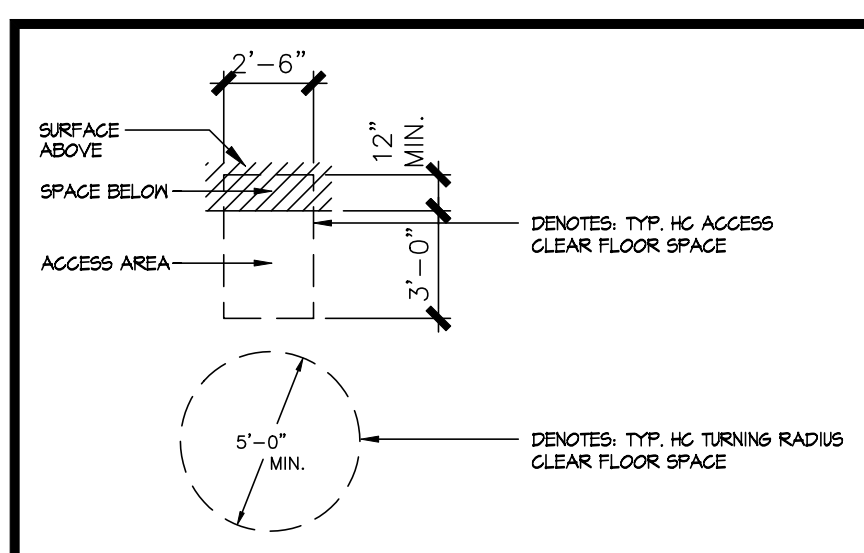


WINDOW ELEVATIONS

3/16" = 1'-0"

UNIT	NOMINAL R.O. SIZE	TYPE / REMARKS	ADDITIONAL REMARKS	LITES	QUANTITY
A	4'-4" x 5'-4"	4454 FG AT 8'-8" HD. HT.	MATCH STYLE AND TYPE OF EXISTING WINDOWS	1	3
B	2'-4" x 5'-4"	2454 FG AT 8'-8" HD. HT.	MATCH STYLE AND TYPE OF EXISTING WINDOWS	1	6
C					
D					
E					

HANDICAP LEGEND



PAINT ALL INTERIORS SPACES IN EXISTING.

FOUNDATION TO COMPLY WITH FOLLOWING: TO BE SUPERCEDED BY ENG. DWG. FOUNDATION LAYOUT ONLY.

TOTAL AREA

ORIGINAL BLOCK BUILDING	5340 S.F.
METAL FRAME ADDITION	1840 S.F.
COVERED PORCHES	926 S.F.
TOTAL AREA	8106 S.F.

- POSSIBLE ALTERNATE REMODEL CONDITIONS:**
- REPLACE ALL DROPPED CEILING TILES.
 - REPLACE ALL ELECTRICAL & LIGHTING SWITCHES, ALL TYPES OF OUTLETS, ETC.
 - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).
 - WIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.
 - REPAINT ALL NON-DEM'D. CEILINGS (WHERE APPLICABLE).
 - REPAINT ALL EXISTING NON-DEM'D. WALLS.
 - REPLACE ALL INTERIOR DOORS AND RELATED HARDWARE, MATCH WITH CHOSEN NEW TYPES.
 - REPLACE ALL PARTITIONS AND/OR ANY MILLWORK (IF APPLICABLE) AT NON-DEM'D. RESTROOMS.
 - REPLACE ALL PLUMBING FIXTURES AT NON-DEM'D. RESTROOMS.
 - REPLACE ALL TPA, HAND DRYERS, PAPER TOWEL & SOAP DISPENSERS.
 - SEE APPROPRIATE SHEETS FOR ADDITIONAL ALTERNATE CONDITIONS.
 - SEE APPROPRIATE SHEETS FOR ADDITIONAL APPLICABLE INFORMATION RELATED TO THE ABOVE.

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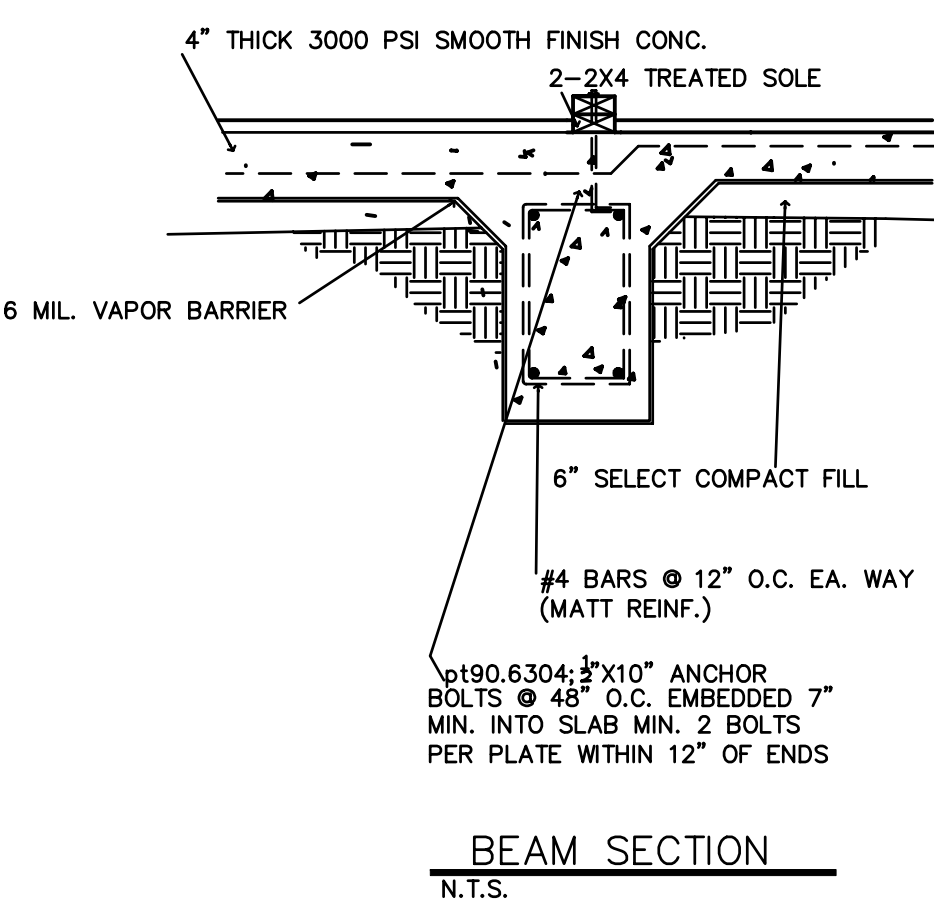
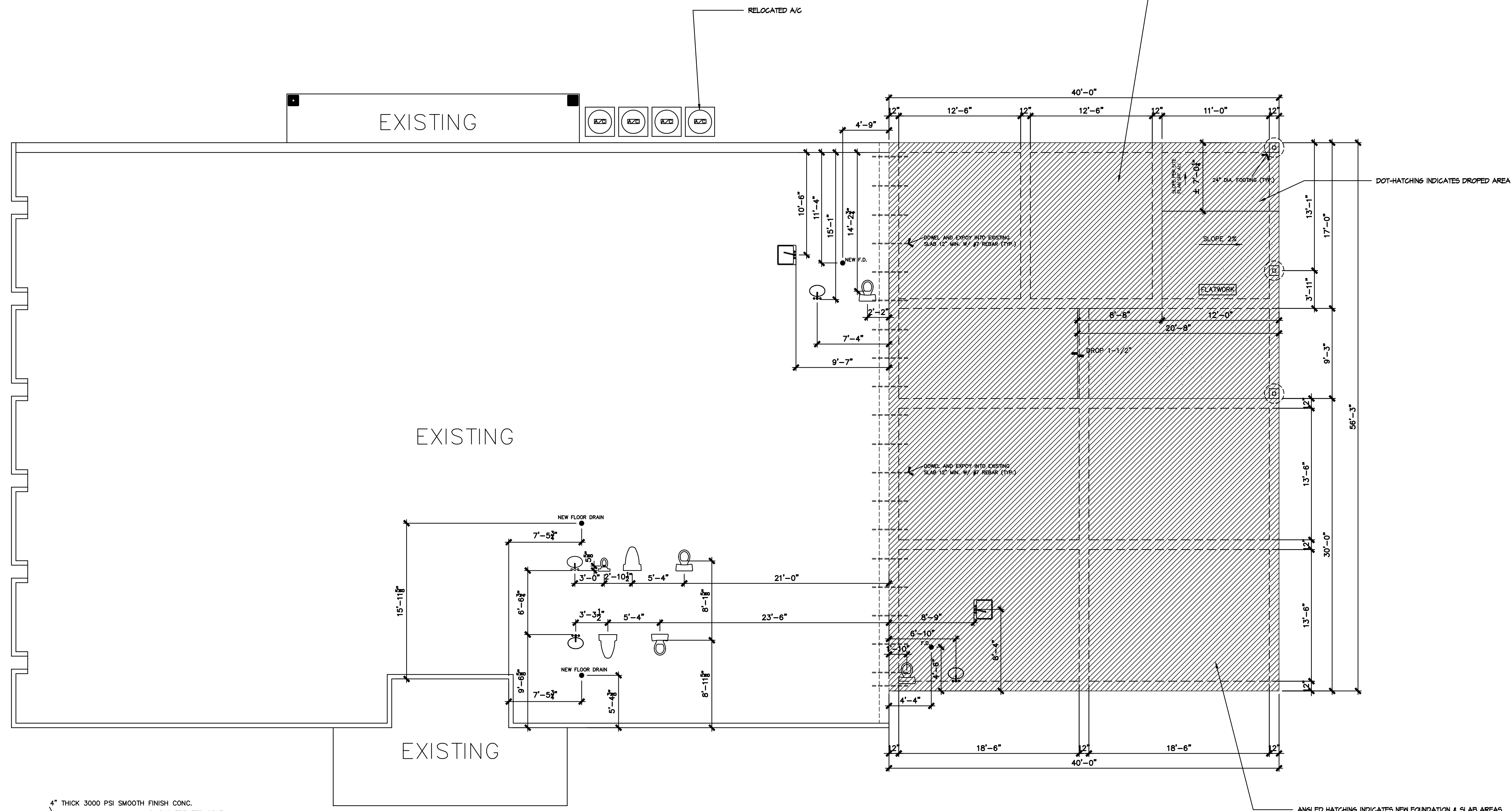
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VERIFY FLOOR PLUG LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.

NOTE: FOUNDATION DESIGN TO SUPPORT THE WEIGHT OF FULLY STOCKED BOOKS BY LIBRARY.



FOUNDATION FORMING & SURFACE FEATURE PLAN
3/16" = 1'-0"

- FOUNDATION NOTES**
FOUNDATION TO COMPLY WITH FOLLOWING:
TO BE SUPERCEDED BY ENG. DWG.
FOUNDATION LAYOUT ONLY:
- 24" DEEP EXTERIOR BEAMS AS PER GEO. REPORT
 - 18" DEEP INTERIOR BEAMS AS PER GEO. REPORT
 - 5" THICK 3000 PSI SMOOTH FINISH CONC.
 - #4 BARS @ 12" O.C. EA. WAY (MATT REINF.)
 - 6 MIL. VAPOR BARRIER
 - 6" SELECT COMPACT FILL
 - #6 CORNER BARS 2 TOP 2 BOTTOM
 - #3 STIRRUPS @ 36" O.C.
 - 6" MIN. INTO UNDISTURBED SOIL

TOTAL AREA

ORIGINAL BLOCK BUILDING	5340 S.F.
METAL FRAME ADDITION	1840 S.F.
COVERED PORCHES	926 S.F.
TOTAL AREA	8106 S.F.

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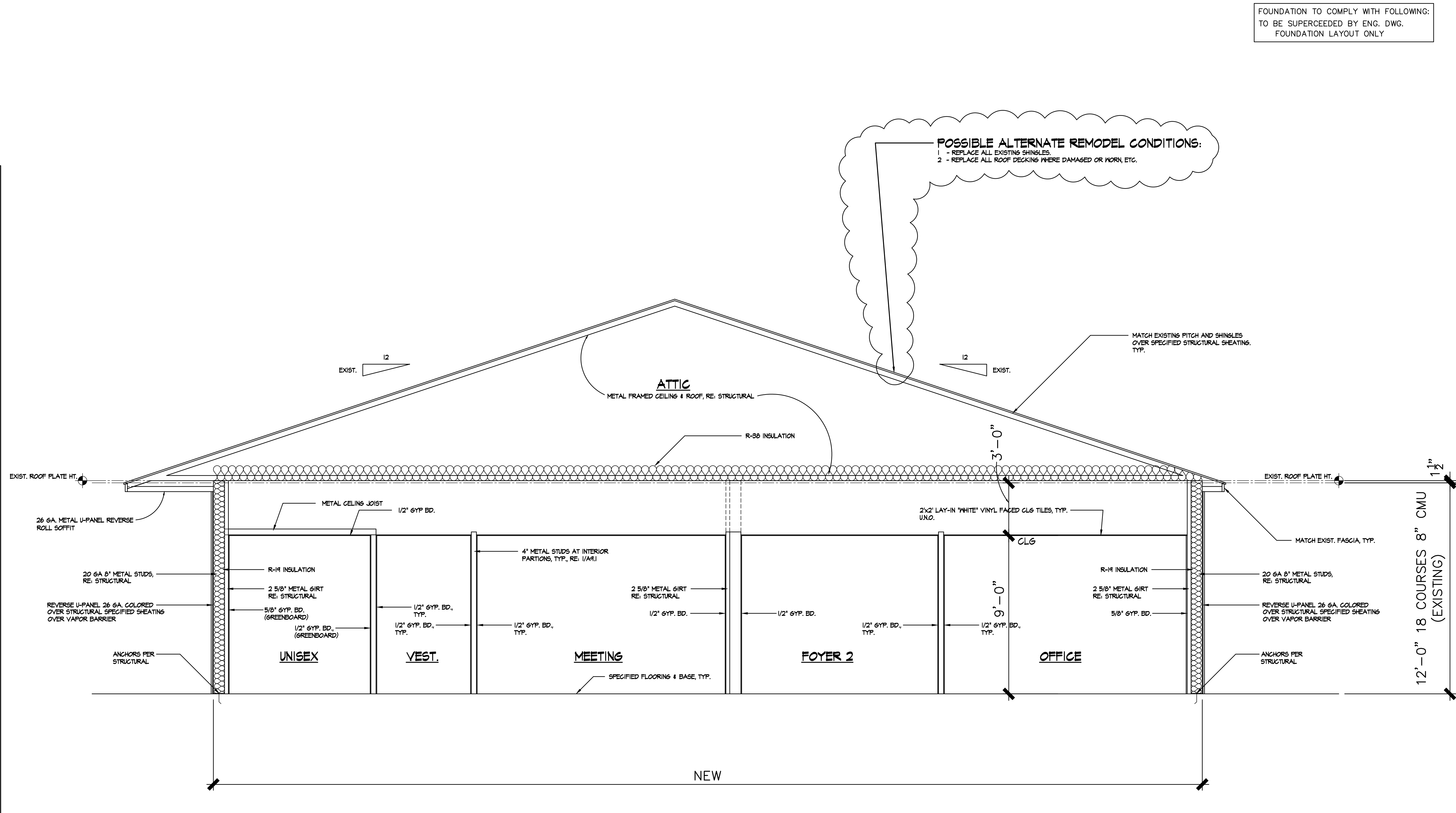
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Owner: _____ Date: _____
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NEW BUILDING SECTION
 3/8" = 1'-0"

FOUNDATION TO COMPLY WITH FOLLOWING:
 TO BE SUPERCEDED BY ENG. DWG.
 FOUNDATION LAYOUT ONLY

POSSIBLE ALTERNATE REMODEL CONDITIONS:
 1 - REPLACE ALL EXISTING SHINGLES.
 2 - REPLACE ALL ROOF DECKING WHERE DAMAGED OR WORN, ETC.

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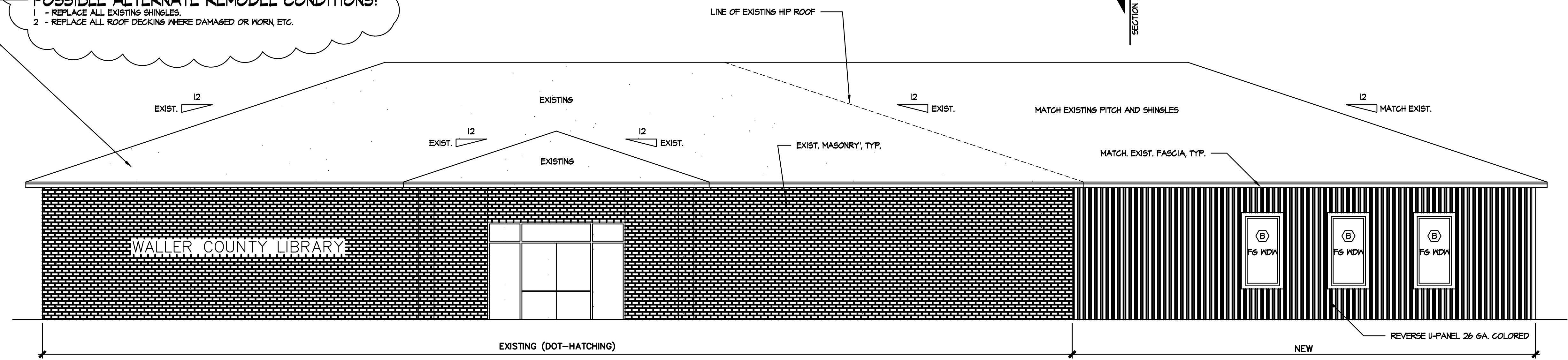
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FOUNDATION TO COMPLY WITH FOLLOWING:
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FOUNDATION LAYOUT ONLY

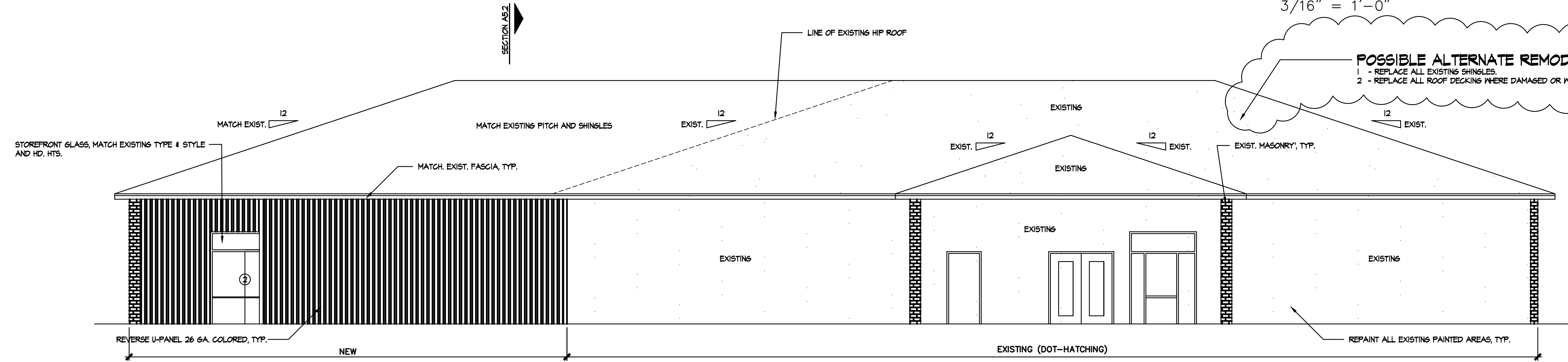
POSSIBLE ALTERNATE REMODEL CONDITIONS:
1 - REPLACE ALL EXISTING SHINGLES.
2 - REPLACE ALL ROOF DECKING WHERE DAMAGED OR WORN, ETC.



NEW EAST ELEVATION

3/16" = 1'-0"

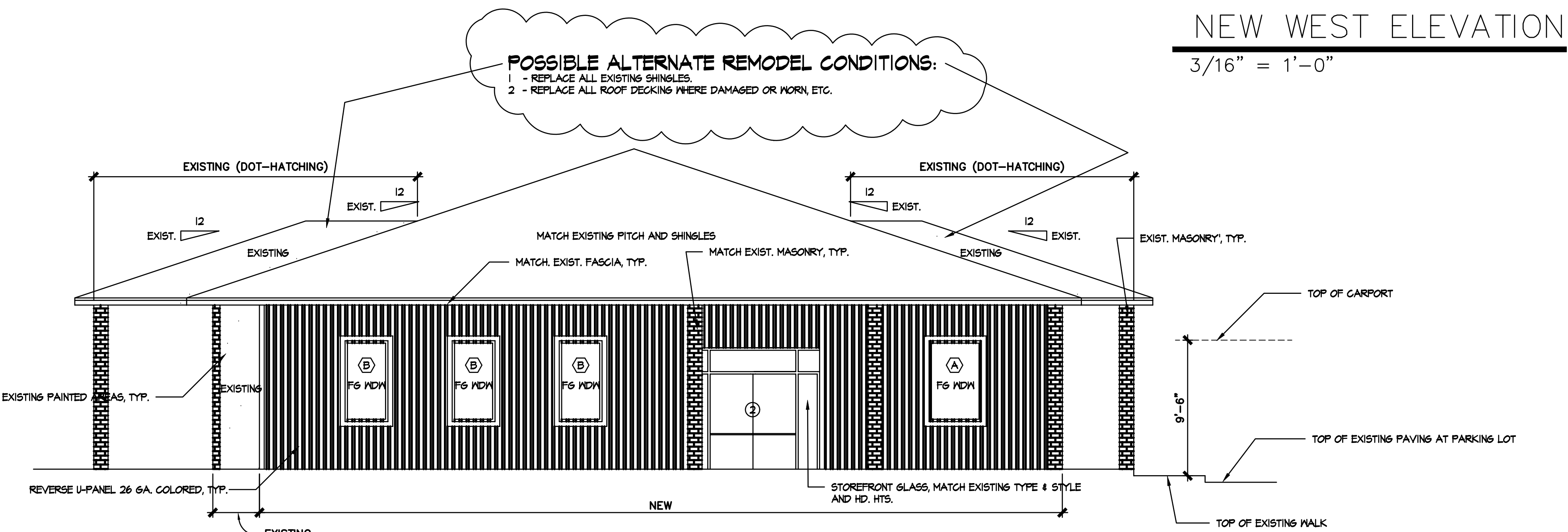
POSSIBLE ALTERNATE REMODEL CONDITIONS:
1 - REPLACE ALL EXISTING SHINGLES.
2 - REPLACE ALL ROOF DECKING WHERE DAMAGED OR WORN, ETC.



NEW WEST ELEVATION

3/16" = 1'-0"

POSSIBLE ALTERNATE REMODEL CONDITIONS:
1 - REPLACE ALL EXISTING SHINGLES.
2 - REPLACE ALL ROOF DECKING WHERE DAMAGED OR WORN, ETC.



NEW NORTH ELEVATION

3/16" = 1'-0"

NOTE:
REPAINT ALL EXTERIOR FINISHES.

NOTE:
NO CHANGES TO SOUTH ELEVATION.

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PROJECT:
WALLER COUNTY LIBRARY ADDITION
HEMPSTEAD, TEXAS

SHEET
A51

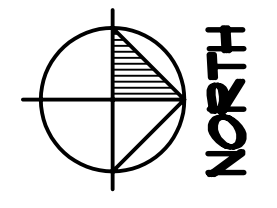
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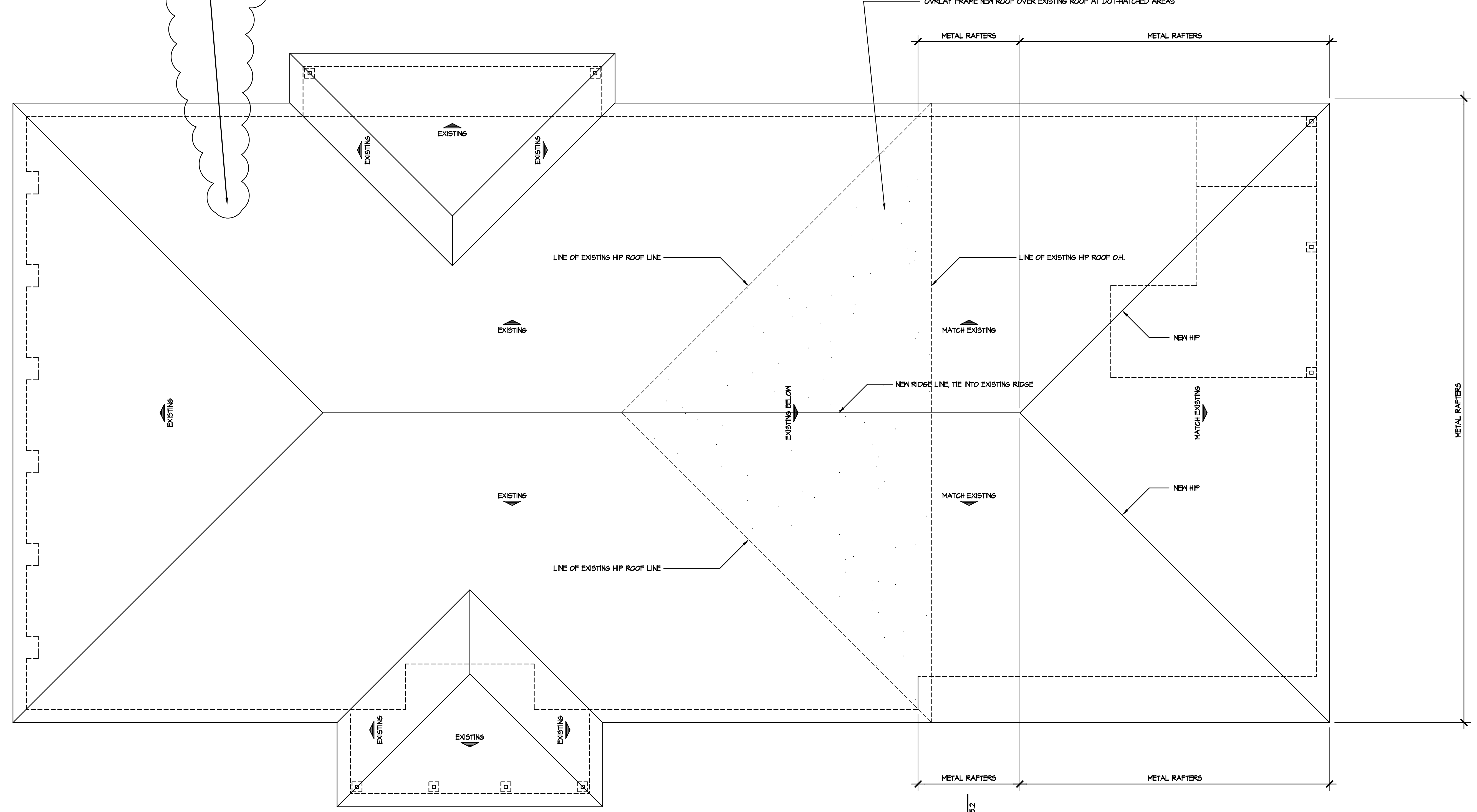
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Overlaid Date

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FOUNDATION LAYOUT ONLY



POSSIBLE ALTERNATE REMODEL CONDITIONS:
1 - REPLACE ALL EXISTING SHINGLES.
2 - REPLACE ALL ROOF DECKING WHERE DAMAGED OR WORN, ETC.



ADDITION ROOF PLAN
3/16" = 1'-0"

ROOF VENTILATION REQUIREMENTS	
6420 SQ. FT. ATTIC / 500 =	3821 SQ. IN. FREE VENT AREA
1660 SQ. IN. ROOF VENTS	1660 SQ. IN. SOFFIT VENTS

PROJ. DATE : 0418
PROJECT NO : Library
DRAWN BY : DH/DHS
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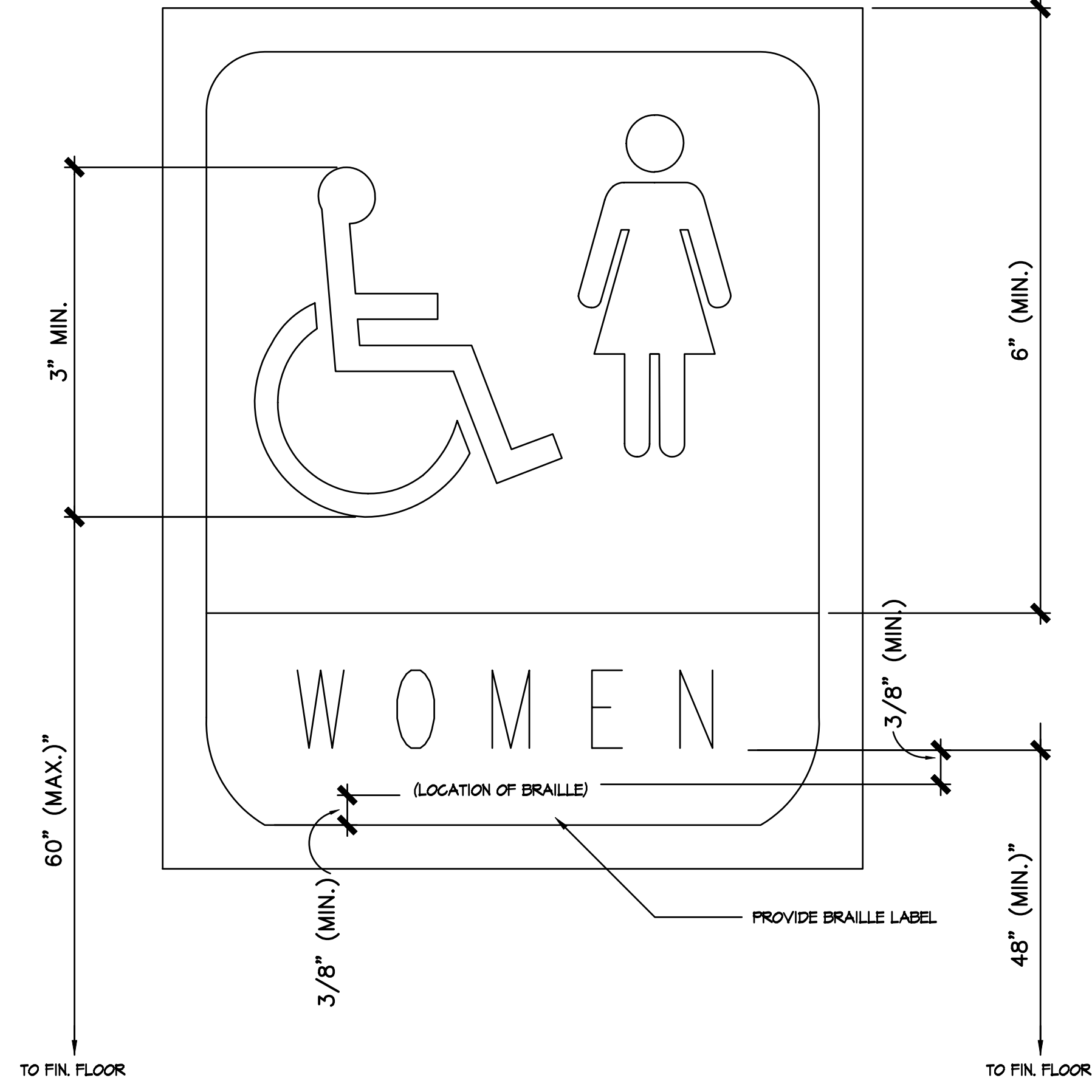
PROJECT:
WALLER COUNTY LIBRARY ADDITION
HEMPSTEAD, TEXAS

SHEET
A61

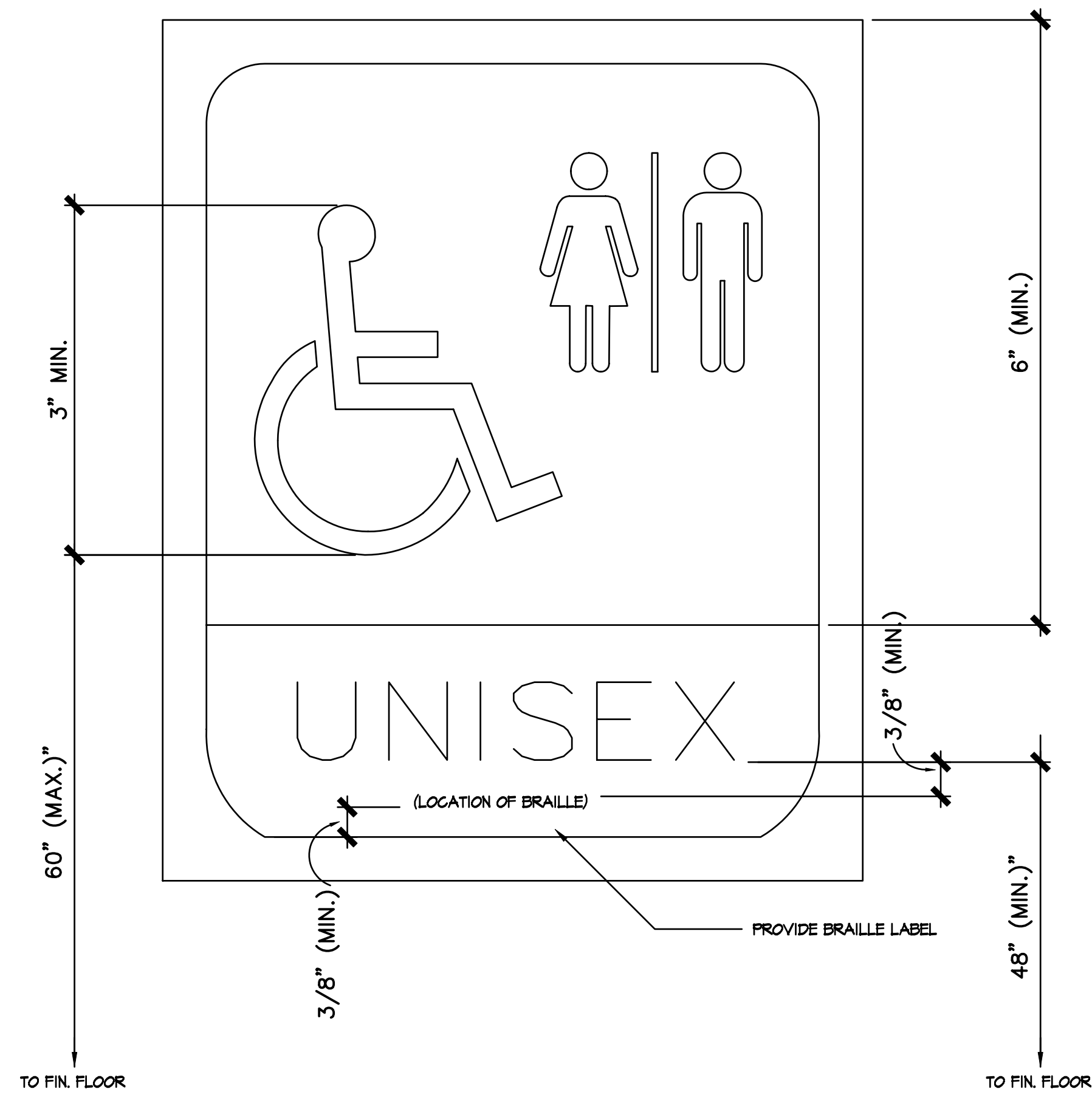
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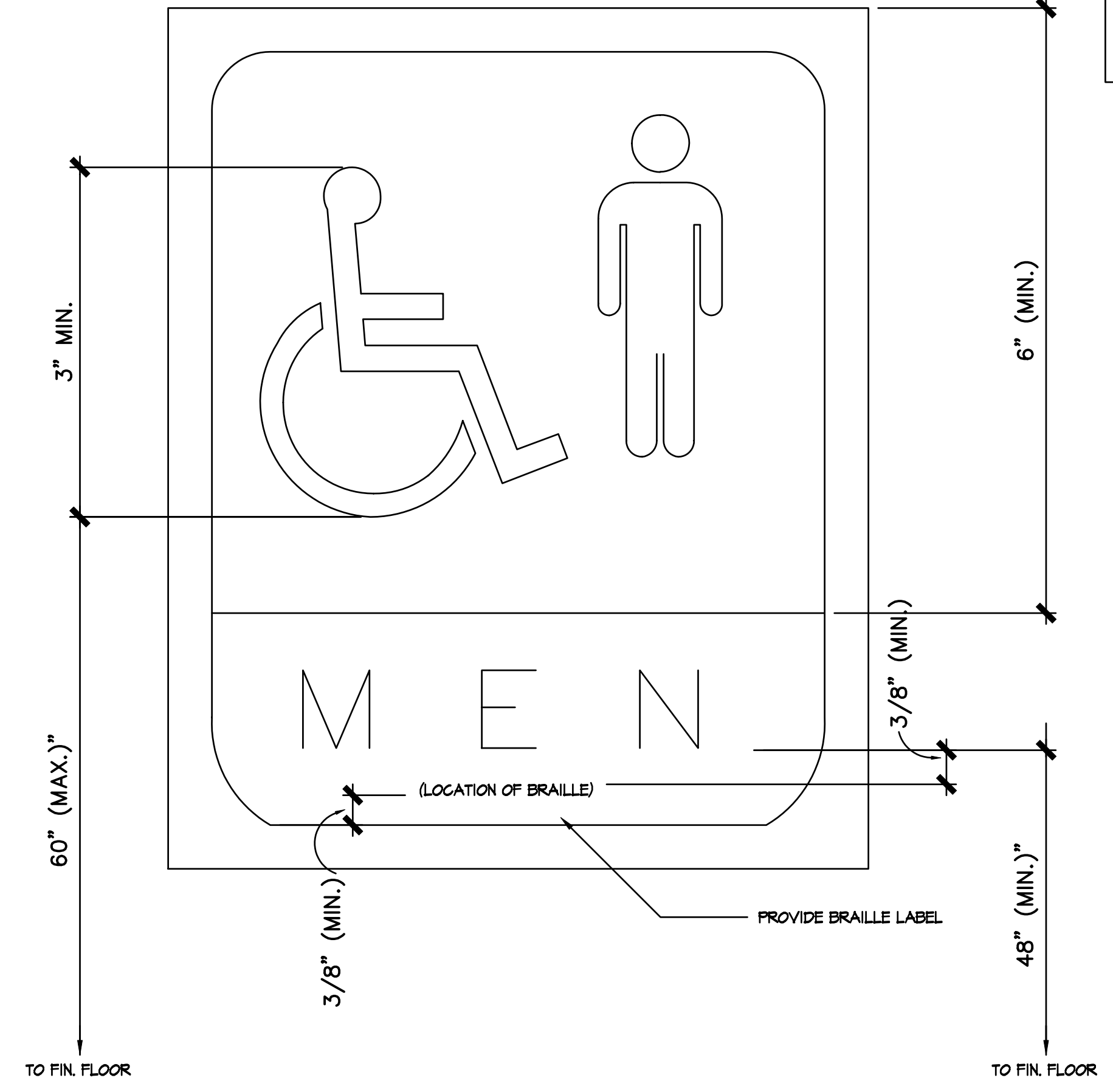
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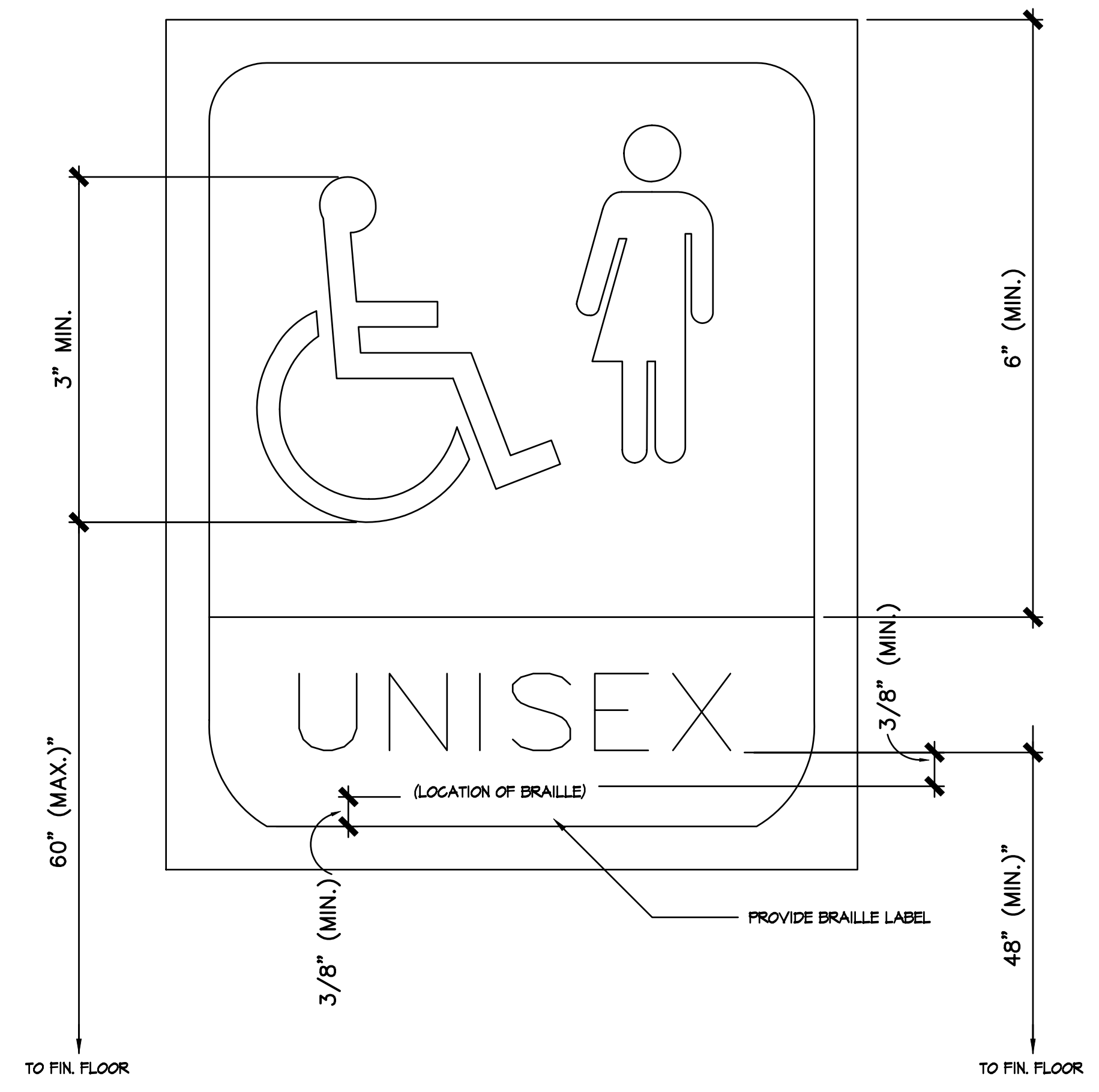
④ HANDICAP INTERIOR SIGNAGE – WOMEN (RESTROOM)
NTS



② HANDICAP INTERIOR SIGNAGE – UNISEX RESTROOMS OPT. 2
NTS



③ HANDICAP INTERIOR SIGNAGE – MEN (RESTROOM)
NTS



① HANDICAP INTERIOR SIGNAGE – UNISEX RESTROOMS OPT. 1
NTS

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PROJECT NO : WCL 194
DRAWN BY : DHS
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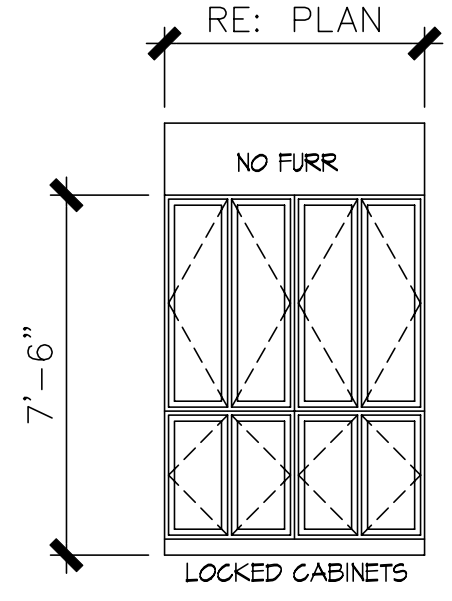
PROJECT:
WALLER COUNTY LIBRARY ADDITION
HEMPSTEAD, TEXAS

SHEET
A72

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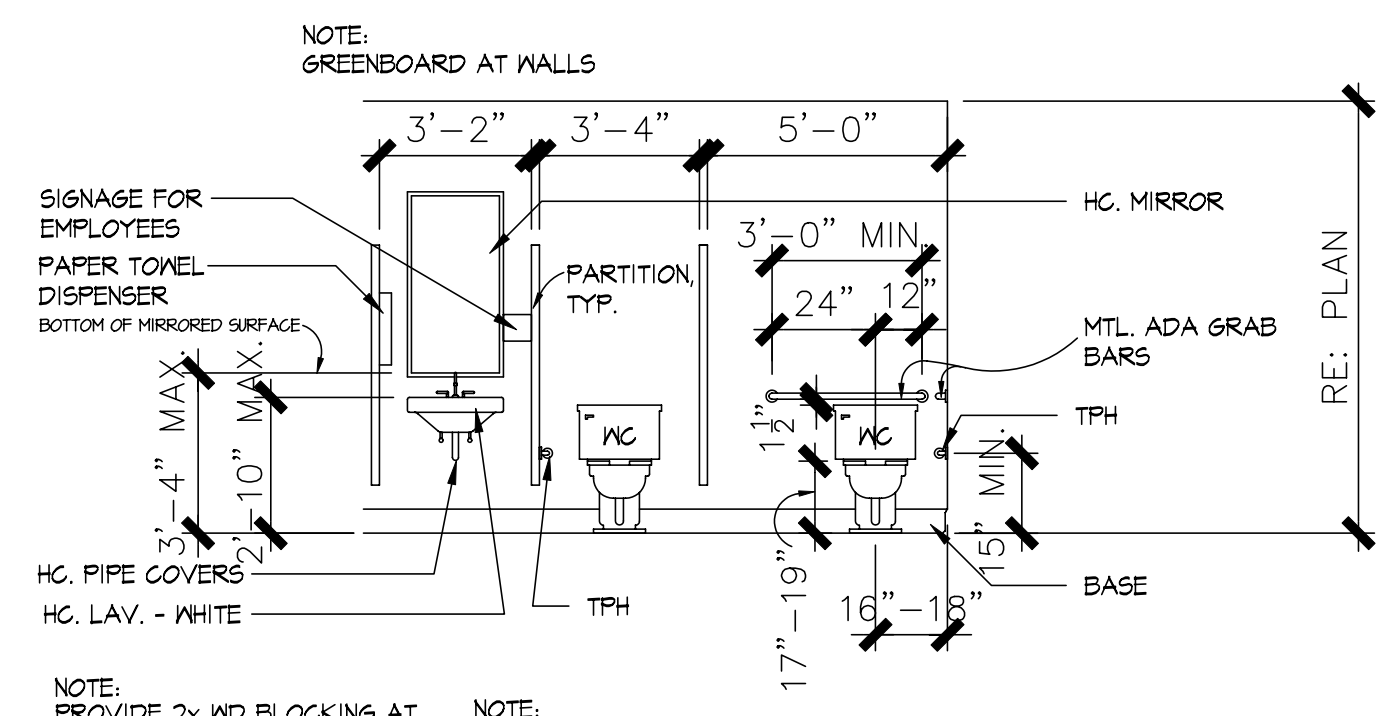
GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL CABINET LOCATIONS
FOR PROPER SUPPORT

2 VESTIBULE

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED

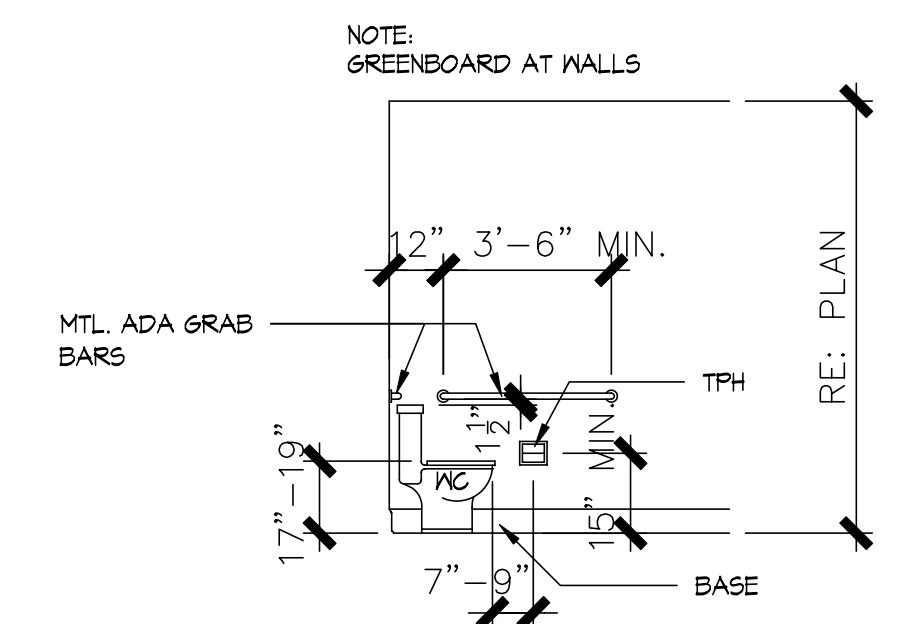


NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

NOTE:
PROVIDE HAND SOAP DISPENSER LAV.
NOTE:
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE
RETURNING TO WORK."

3 WOMEN

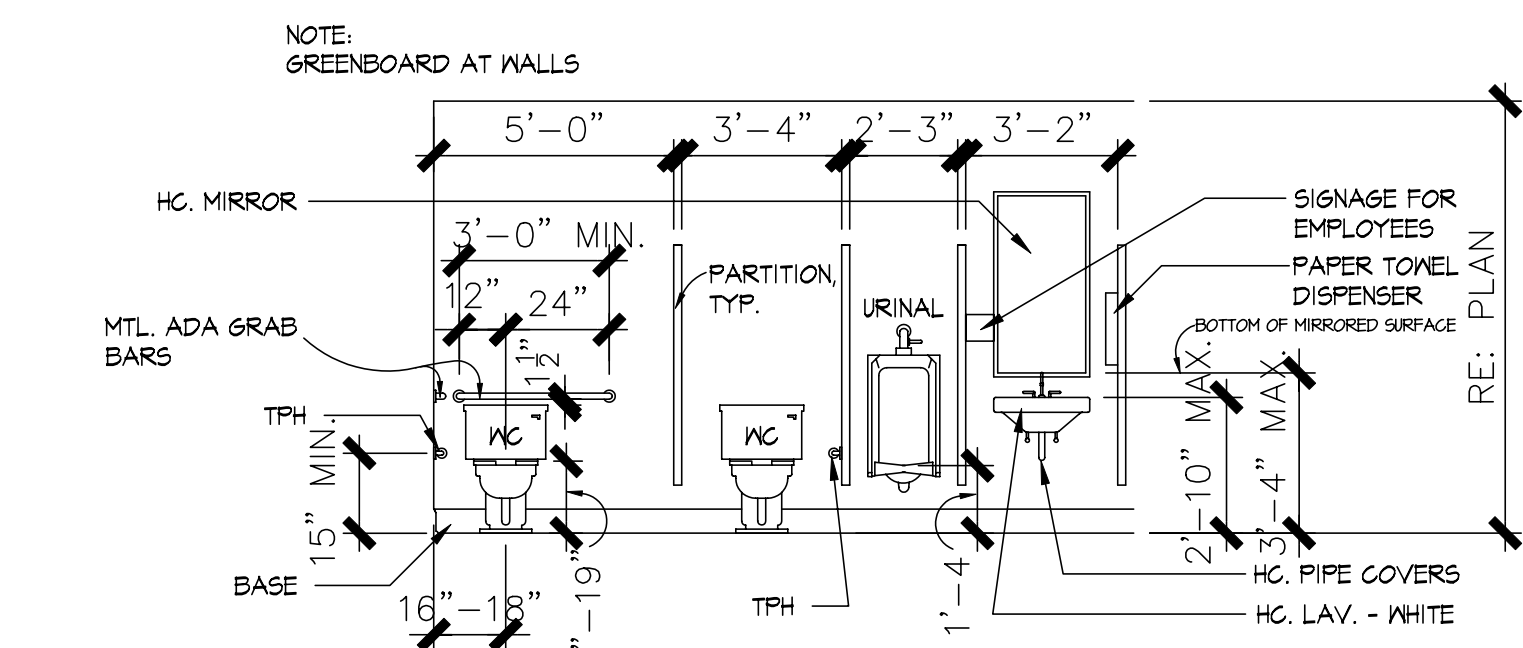
GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

4 WOMEN

GYP. BD. APPLICATION NOTE:
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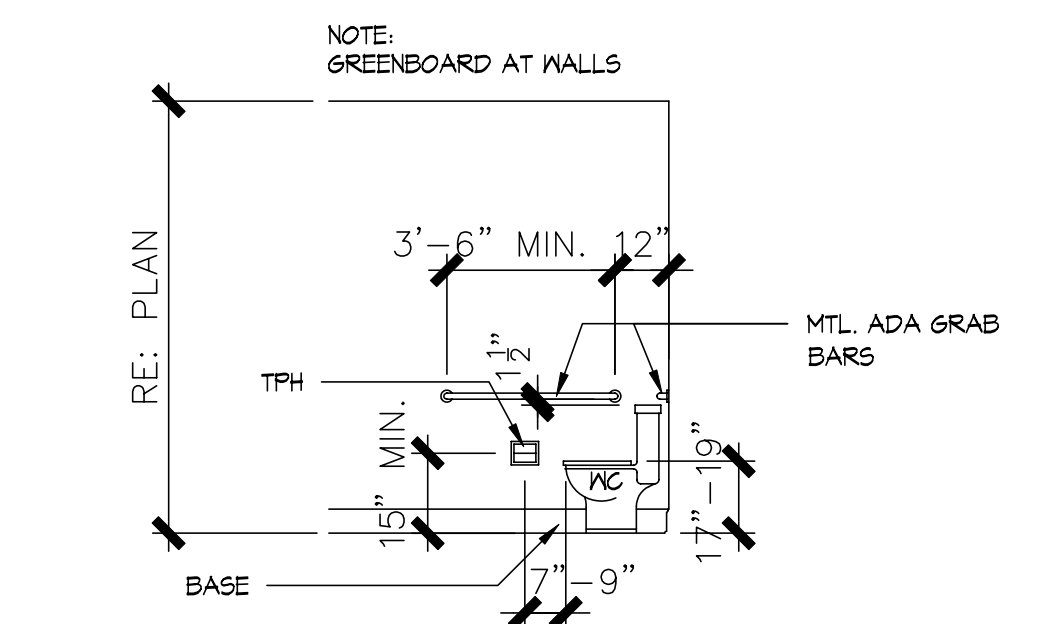


NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

NOTE:
PROVIDE HAND SOAP DISPENSER LAV.
NOTE:
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE
RETURNING TO WORK."

5 MEN

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED

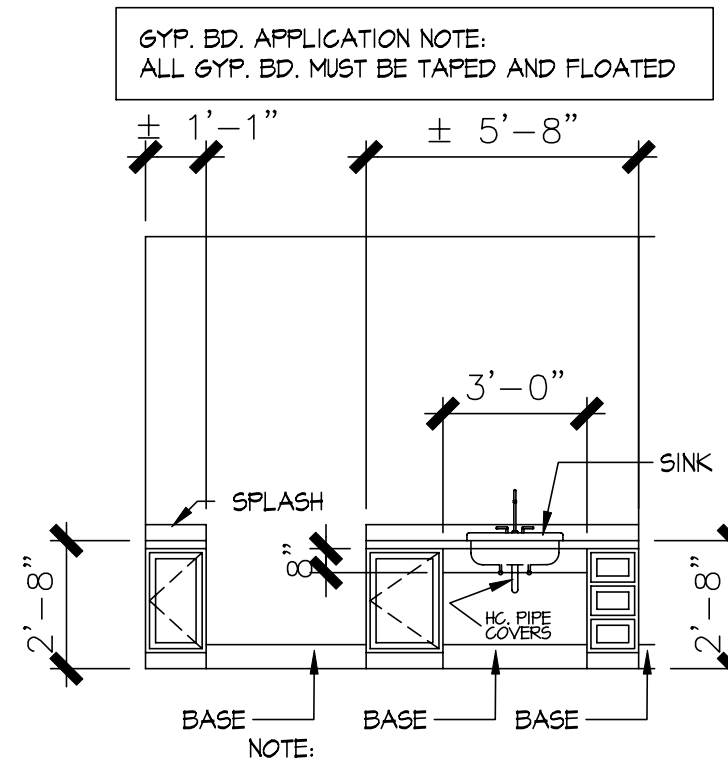


NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

6 MEN

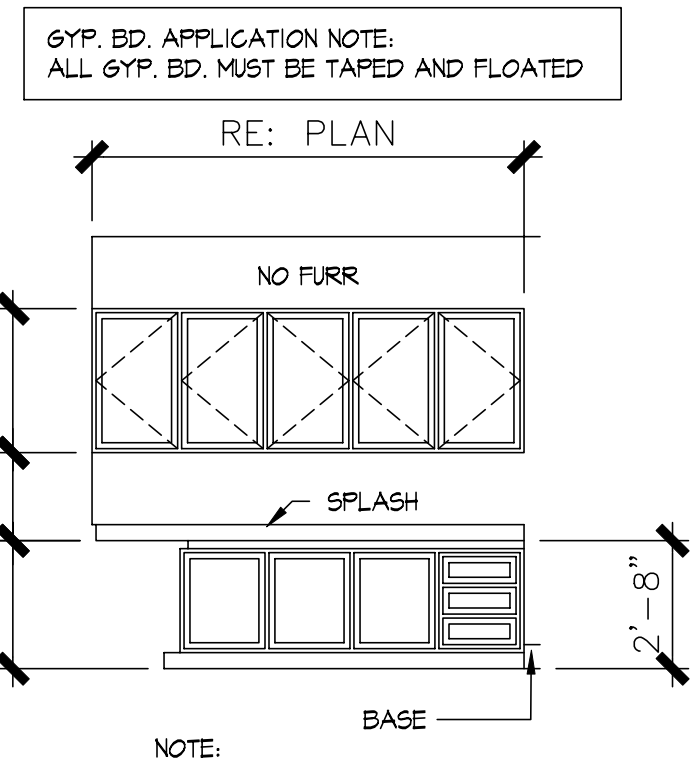
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GYP. BD. APPLICATION NOTE:
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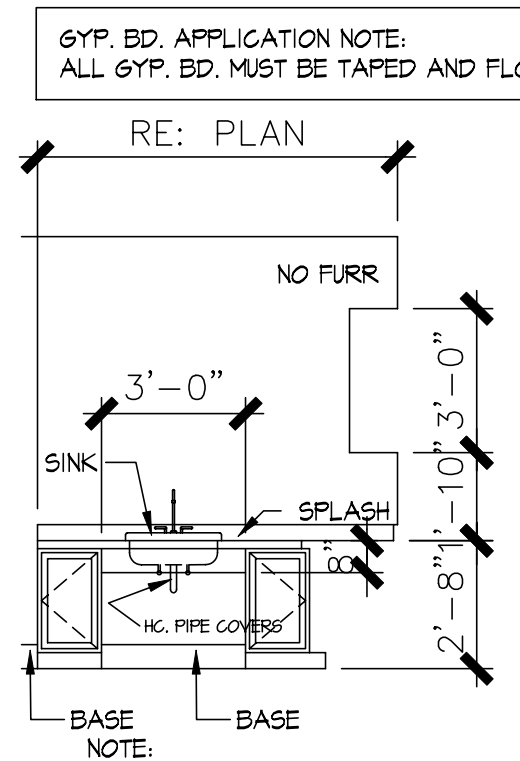
5 MEETING ROOM

GYP. BD. APPLICATION NOTE:
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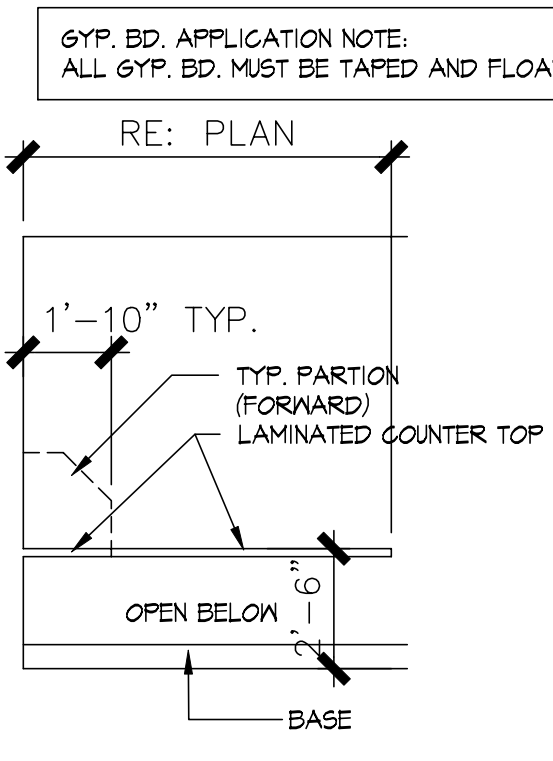
6 STAFF WORK ROOM

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



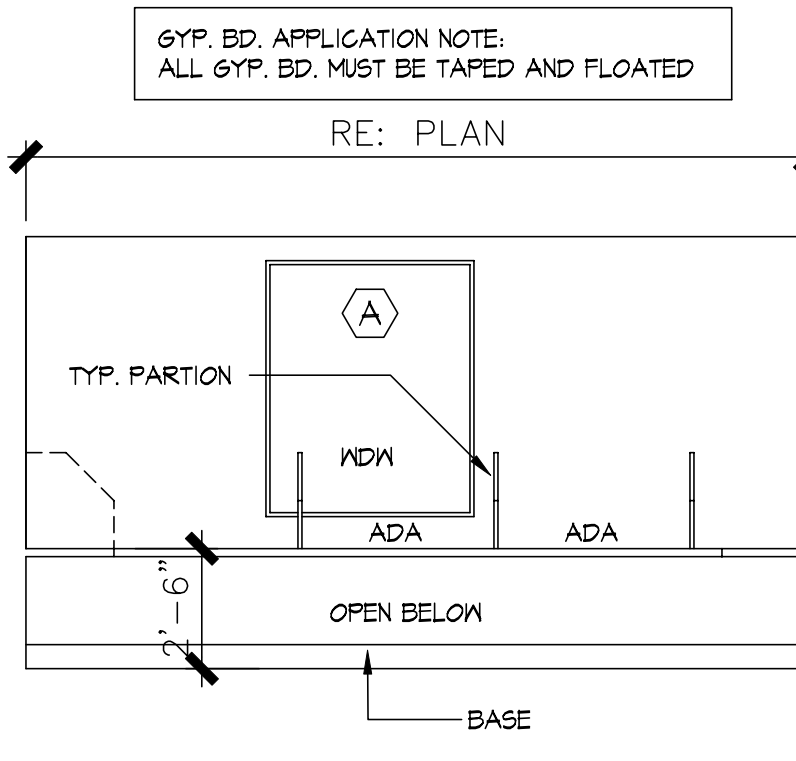
7 STAFF WORK ROOM

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



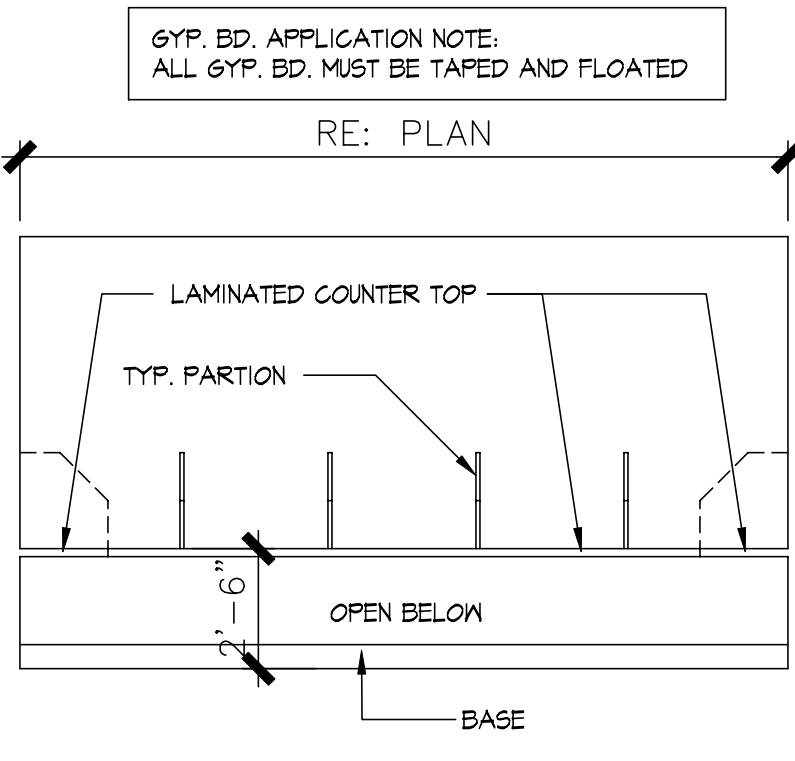
8 BUSINESS CENTER

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



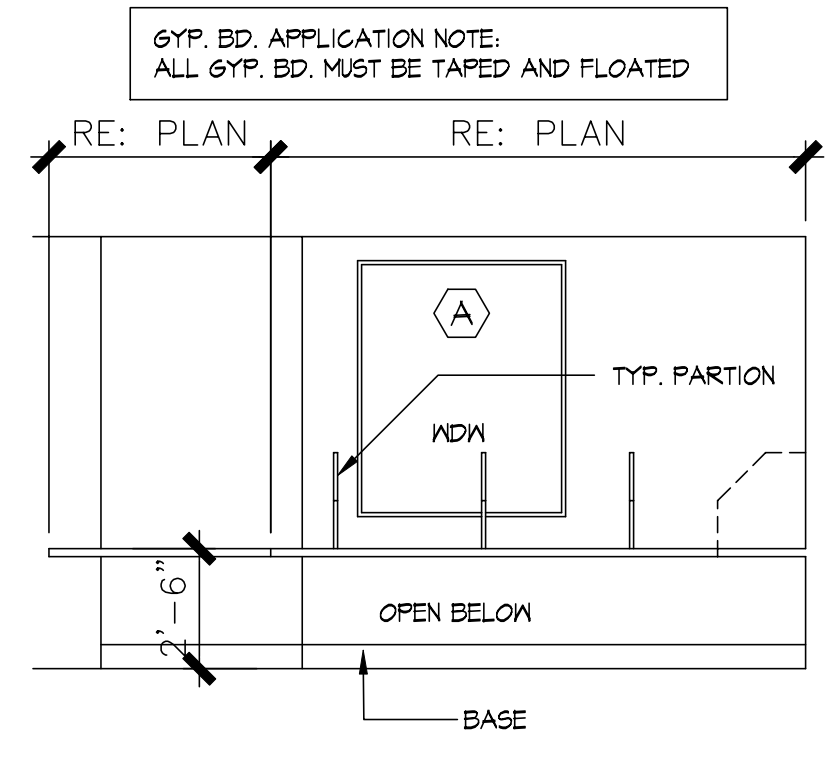
9 BUSINESS CENTER

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



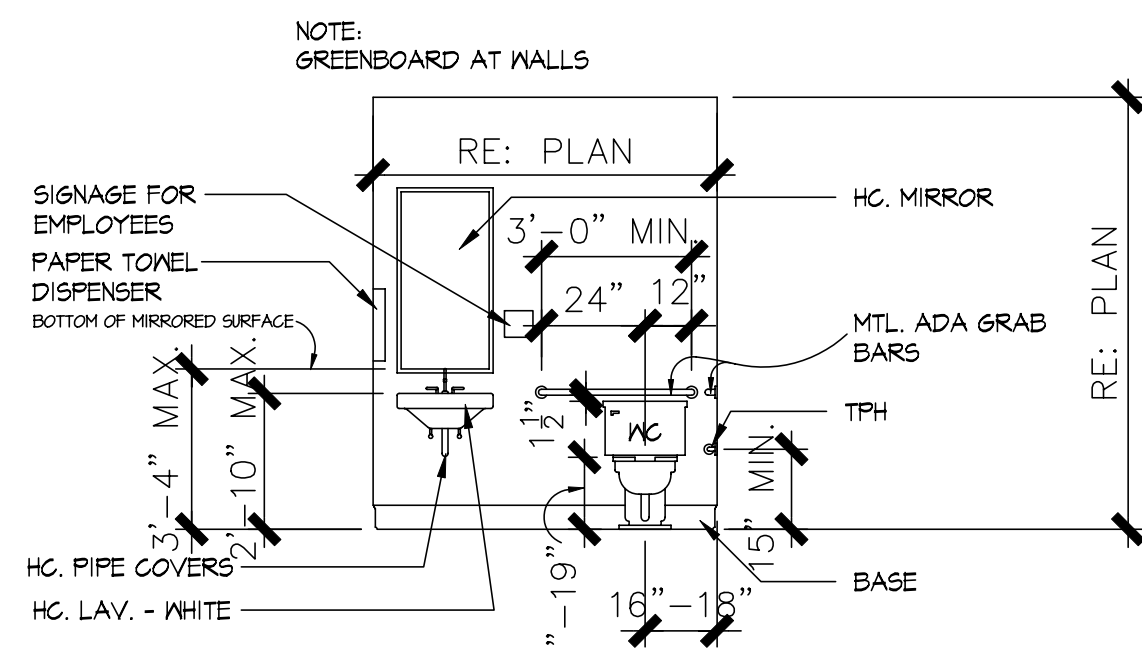
10 BUSINESS CENTER

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



11 BUSINESS CENTER

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED

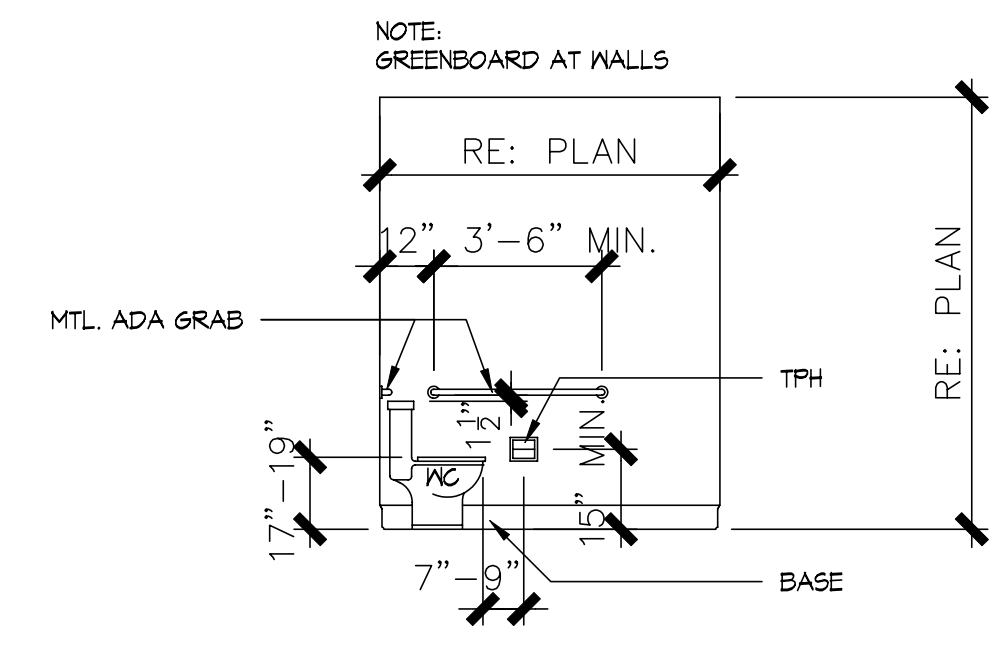


NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

NOTE:
PROVIDE HAND SOAP DISPENSER LAV.
NOTE:
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE
RETURNING TO WORK."

1 UNISEX

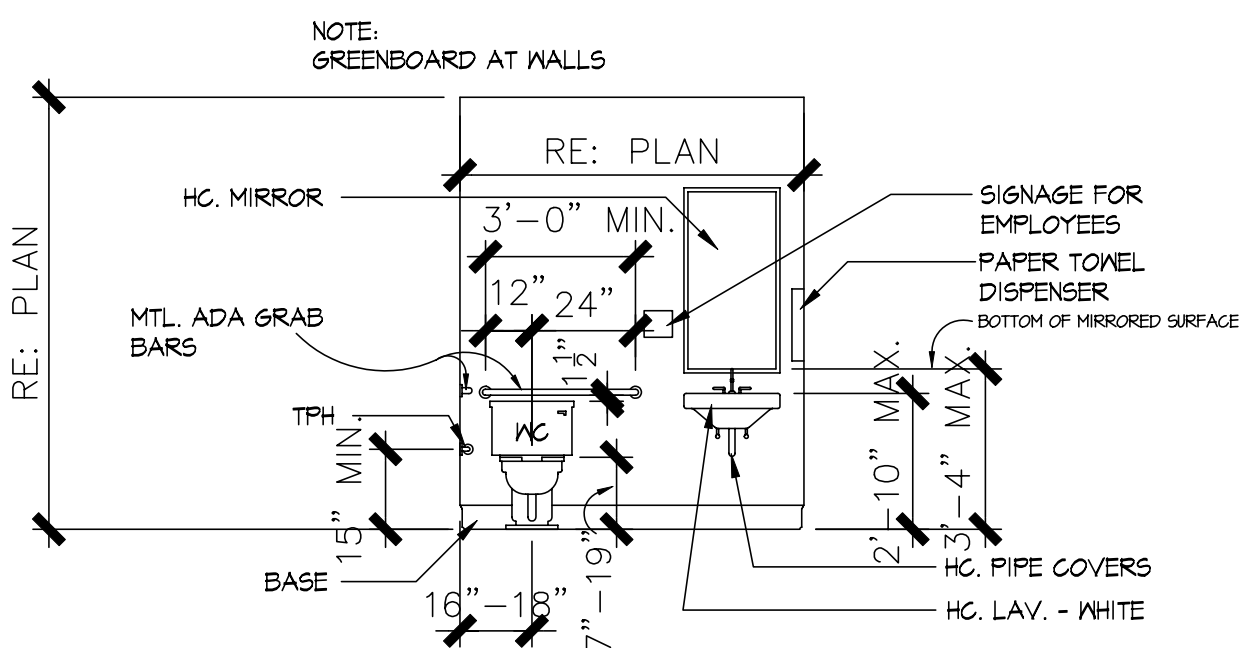
GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

2 UNISEX

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED

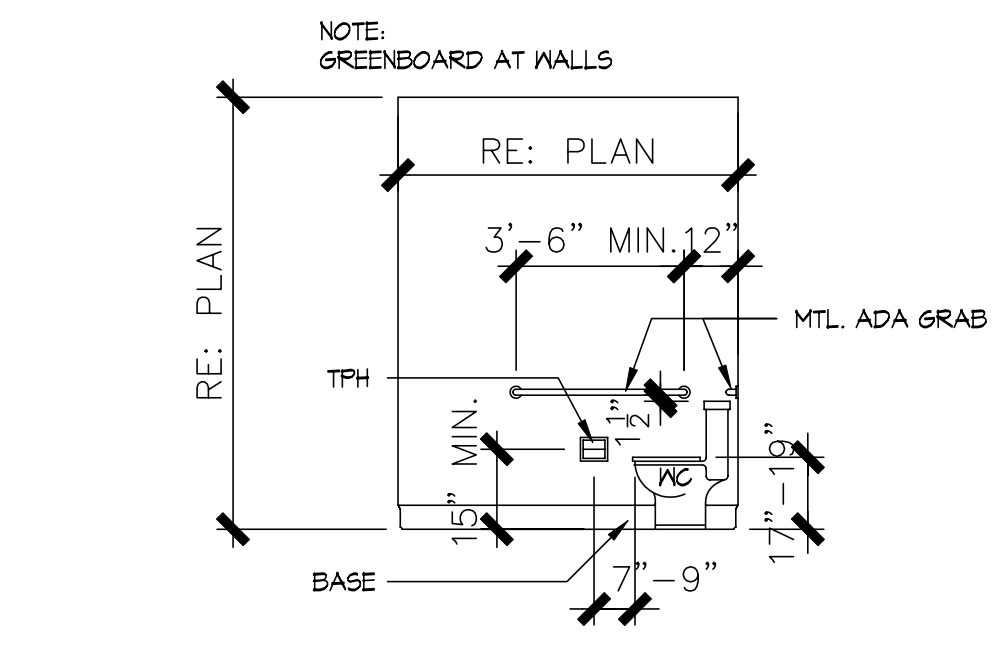


NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

NOTE:
PROVIDE HAND SOAP DISPENSER AT LAV.
NOTE:
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE
RETURNING TO WORK."

3 UNISEX

GYP. BD. APPLICATION NOTE:
ALL GYP. BD. MUST BE TAPED AND FLOATED



NOTE:
PROVIDE 2x MD BLOCKING AT
FOR ALL TOILET ROOM FIXTURES
FOR PROPER SUPPORT

4 UNISEX

NOTE: SEE FLOOR PLAN FOR CLEARANCES OF LAVATORY AND TURNING RADIUS OF WATER CLOSETS.

NOTE: FOR SIGNAGE SEE SHEET A7.2

INTERIOR ELEVATIONS

1/4" = 1'-0"

PROJ. DATE : 04/8
PROJECT NO : WCL 194
DRAWN BY : DHS
CHECKED BY : DH
REVISION :
REVISION :

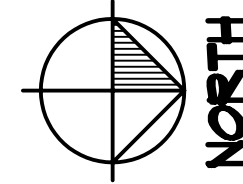


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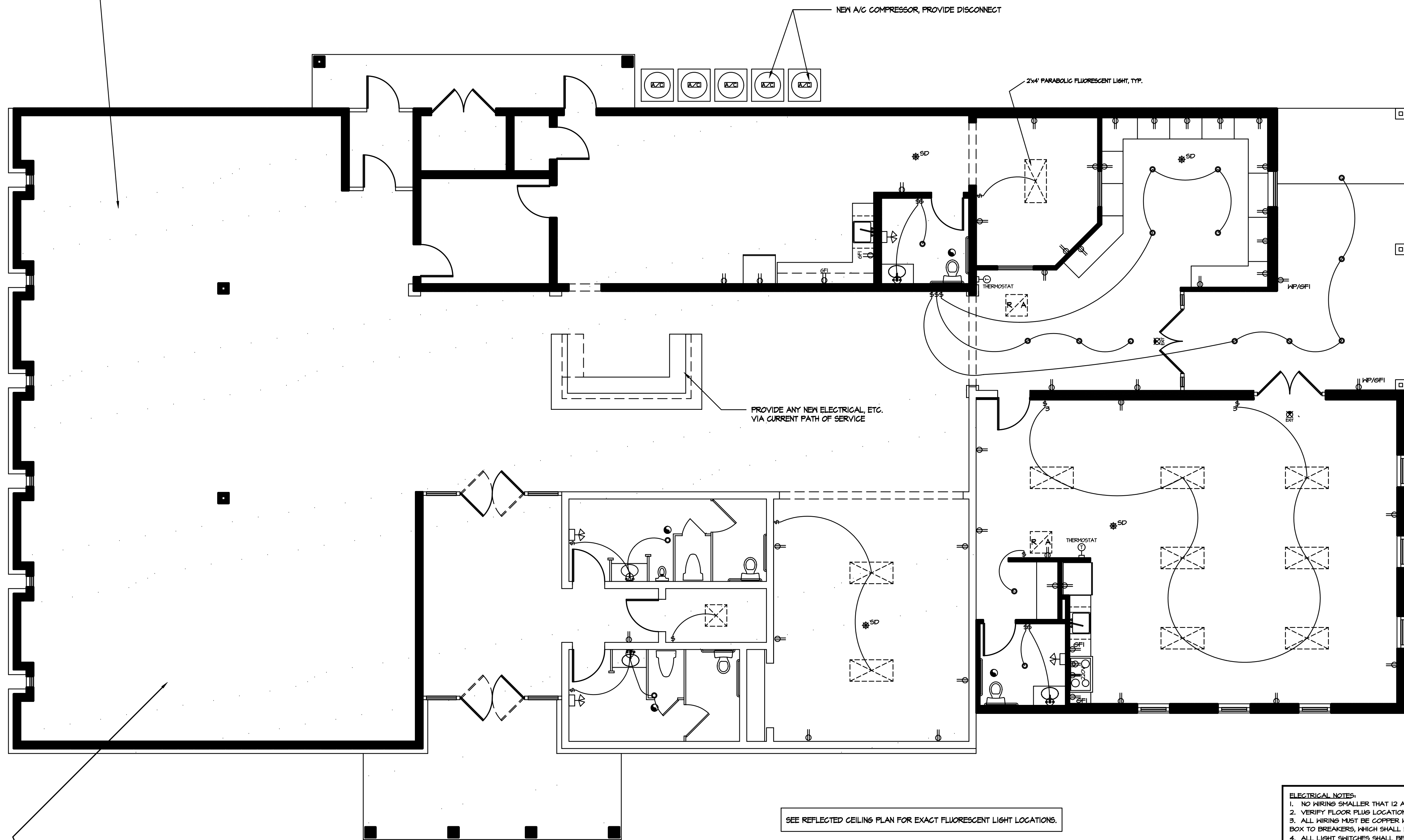
PROJECT:
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HEMPSTEAD, TEXAS

SHEET
A71

PLOT DATE: 05/10/14



DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.



SEE REFLECTED CEILING PLAN FOR EXACT FLUORESCENT LIGHT LOCATIONS.

ELECTRICAL LEGEND

	110 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	110 VOLT IN CEILING
	110 VOLT AT FIREPLACE MANTLE
	110 VOLT W/GROUND FAULT INTERRUPT
	110 VOLT IN FLOOR
	110 VOLT 'PLUG MOLD'
	220 VOLT RECEPTACLE
	TELEVISION ANTENNA/CABLE JACK
	TELEPHONE JACK
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED W/BATTERY BACKUP THERMOSTAT
	CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	LAMP POST
	RECESSED CAN LIGHT (4" CANS MAX TYP.)
	WATERPROOF RECESSED CAN LIGHT (4" CANS MAX TYP.)
	RECESSED EYEBALL SPOT LIGHT
	MONO-POINT OR DIRECTIONAL LT.
	STEP LIGHT
	HALL WASHER OR LOW VOLTAGE LT.
	SCORCE OR WALL MOUNTED FIXTURE
	PORCELAIN FIXTURE W/ PULL CORD
	FLOOD LIGHTS ON PHOTOCELL
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LIGHT
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	2' x 2' FLUORESCENT LIGHT
	1' x 4' FLUORESCENT LIGHT
	2' x 4' FLUORESCENT LIGHT
	UNDER-COUNTER LIGHT
	OVER-COUNTER LIGHT
	TRACK LIGHTING
	EMERGENCY LIGHTING

ELECTRICAL NOTES:

- NO WIRING SMALLER THAN 12 AWG.
- VERIFY FLOOR PLUG LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.
- ALL WIRING MUST BE COPPER WITH EXCEPTION OF UNDERGROUND TO MAIN BOX AND FROM MAIN BOX TO BREAKERS, WHICH SHALL BE CODE-APPROVED ALUMINUM.
- ALL LIGHT SWITCHES SHALL BE MOUNTED AT 36" AFF.
- USE LITVON "DEGORA" ROCKER SWITCHES AT ALL STANDARD LIGHT AND APPLIANCE SWITCHES.
- USE LITVON "SKYLARK" SLIDING CONTROL AT ALL RHEOSTAT (DIMMER) SWITCHES.
- PROVIDE ELECTRIC SERVICE FOR ELECTRIC LANDSCAPE LIGHTING, FRONT ELEVATION LIGHTING, PARKING LOT LIGHTING, ETC., ACCORDING TO OWNER'S INSTRUCTIONS.

POSSIBLE ALTERNATE REMODEL CONDITIONS:

- REPLACE ALL ELECTRICAL & LIGHTING SWITCHES, ALL TYPES OF OUTLETS, ETC.
- REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (LED FOR ALL NEW WHERE APPLICABLE).
- WIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.

ADDITION LIGHTING & ELECTRICAL PLAN (RE: MEP)
 3/16" = 1'-0"

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HEMPSTEAD, TEXAS

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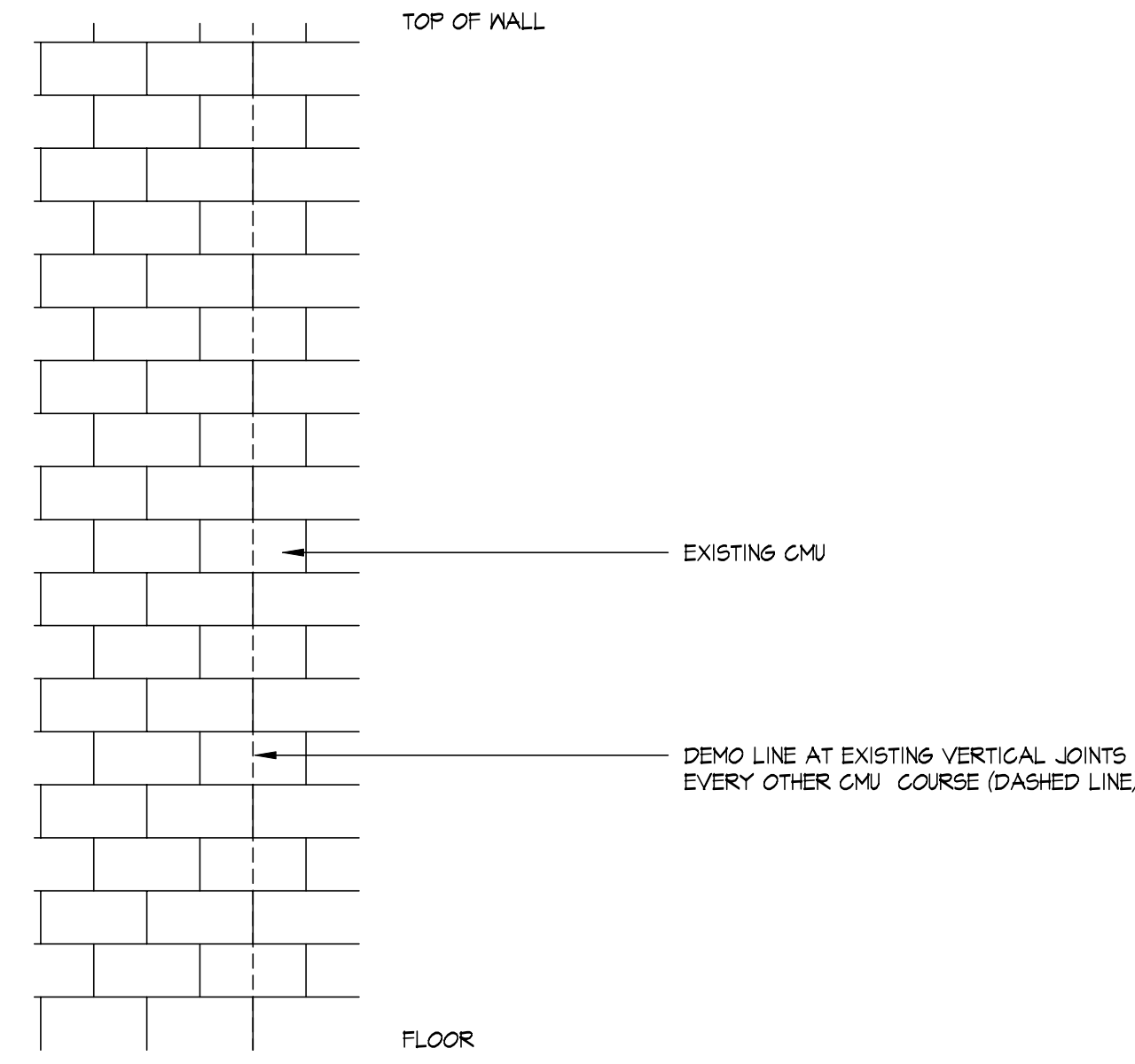
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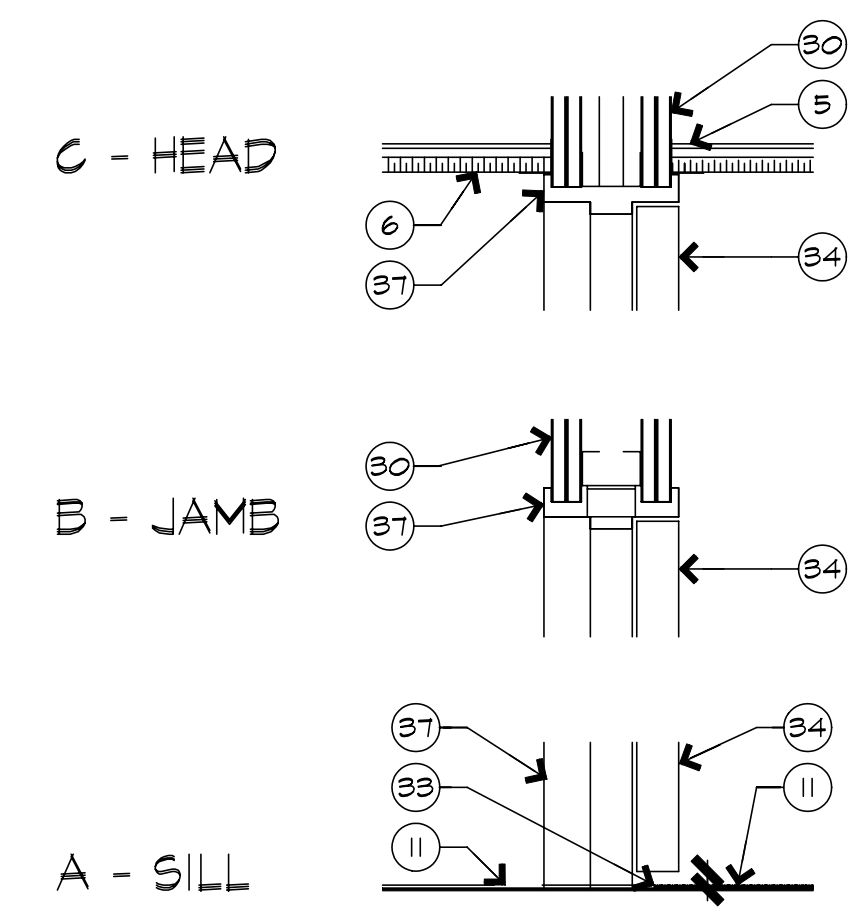
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PLAN NOTES:

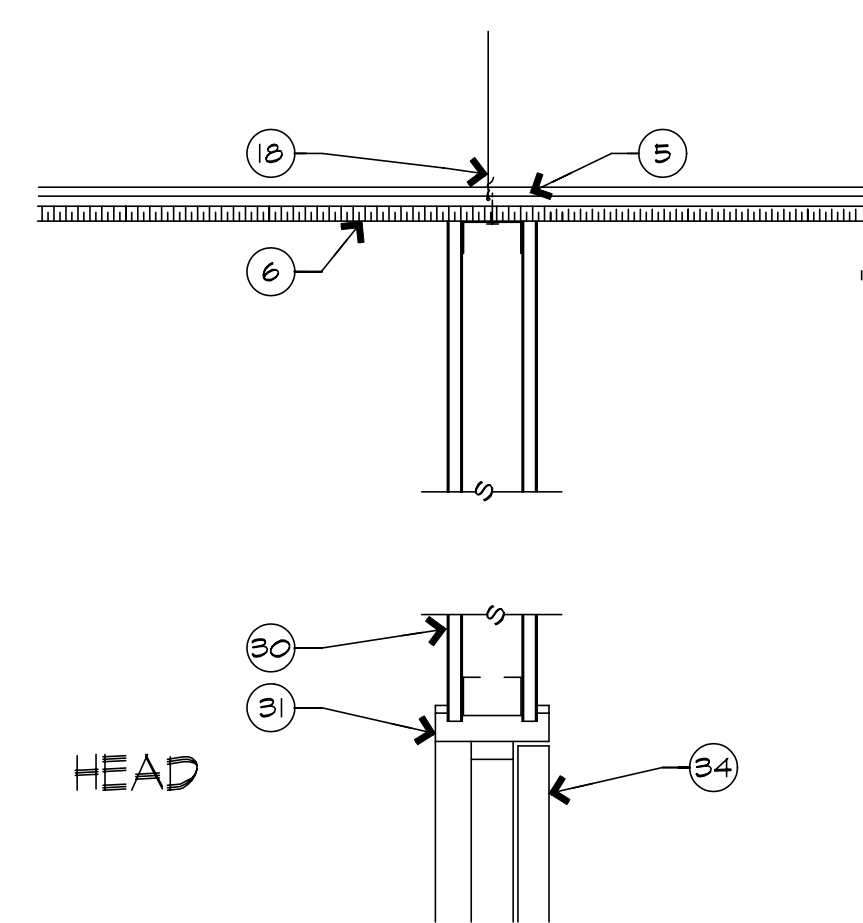
1. UNDERSIDE OF DECK ABOVE
2. PROVIDE ACOUSTICAL SEALANT @ TOP & BOTTOM TRACKS
3. ANCHOR HEAD & FLOOR TRACK TO STRUCTURE @ 24" O.C.
4. SEAL VOIDS WITH FIRE SAFING & ACOUSTIC GAULK
5. CEILING TEE BEYOND
6. LAY-IN CEILING AS SCHEDULED
7. 5/8" THICK TYPE "X" GYPSUM BOARD
8. EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
9. EXTEND TO UNDERSIDE OF CEILING ABOVE
10. BASE AS SCHEDULED
11. FINISH FLOORING AS SCHEDULED
12. "RACO" PRESITIGE CLASSIC SERIES ALUMINUM DOOR FRAME
13. CONTINUOUS CEILING "J" TRIM TENANT SIDES OF PARTITION
14. BUILDING STANDARD, 1 3/4" SOLID CORE WOOD DOOR
15. LABELED 20 MIN. RATED FIRE DOOR, 1 3/4" SOLID CORE WOOD DOOR
16. LABELED 20 MIN. RATED HOLLOW METAL FRAME, PAINT FINISH
17. 1/4" TEMPERED GLASS
18. HANGER WIRE SUPPORT TO STRUCTURE. ATTACH TO MAIN TEES @ 4" O.C.
19. ALUM. WINDOW FRAME AS SCHEDULED
20. GLAZING AS SCHEDULED. RE: ELEV.
21. FIRE DAMPER IN SHEET METAL SLEEVE AS REQUIRED FOR RETURN AIR. RE: MECH.
22. 2 LAYERS 5/8" THICK TYPE "X" GYPSUM BOARD
23. 3 5/8" (18 GAUGE) METAL STUDS @ 16" O.C.
24. 3 5/8" (25 GAUGE) METAL STUDS @ 24" O.C.
25. 3 5/8" (20 GAUGE) METAL STUDS @ 24" O.C.
26. 3 5/8" OR 5 5/8" (25 GAUGE) METAL STUDS @ 16" O.C.
27. 1/2" THICK GYPSUM BOARD (GREENBOARD AT NET AREAS)
28. "RACO" FR-1 HEAD TRACK
29. BLOCKING, TYPE "X"
30. PARTITION AS SCHEDULED
31. ALUMINUM DOOR FRAME AS SCHEDULED
32. CONTINUOUS SILENCER BY FRAME MANUF.
33. CARPET EDGE GUARD WHERE CARPET IS EXPOSED TO TRAFFIC (OMIT IF NOT SCHEDULED.)
34. DOOR AS SCHEDULED
35. 2" SOUND ATTENUATION INSULATED ON TOP OF PARTITION ABOVE CEILING. EXTEND 2 FEET EACH SIDE OF WALL
36. 2-1/2" SOUND ATTENUATION INSULATION
37. HOLLOW METAL DOOR FRAME AS SCHEDULED
38. EXISTING MASONRY



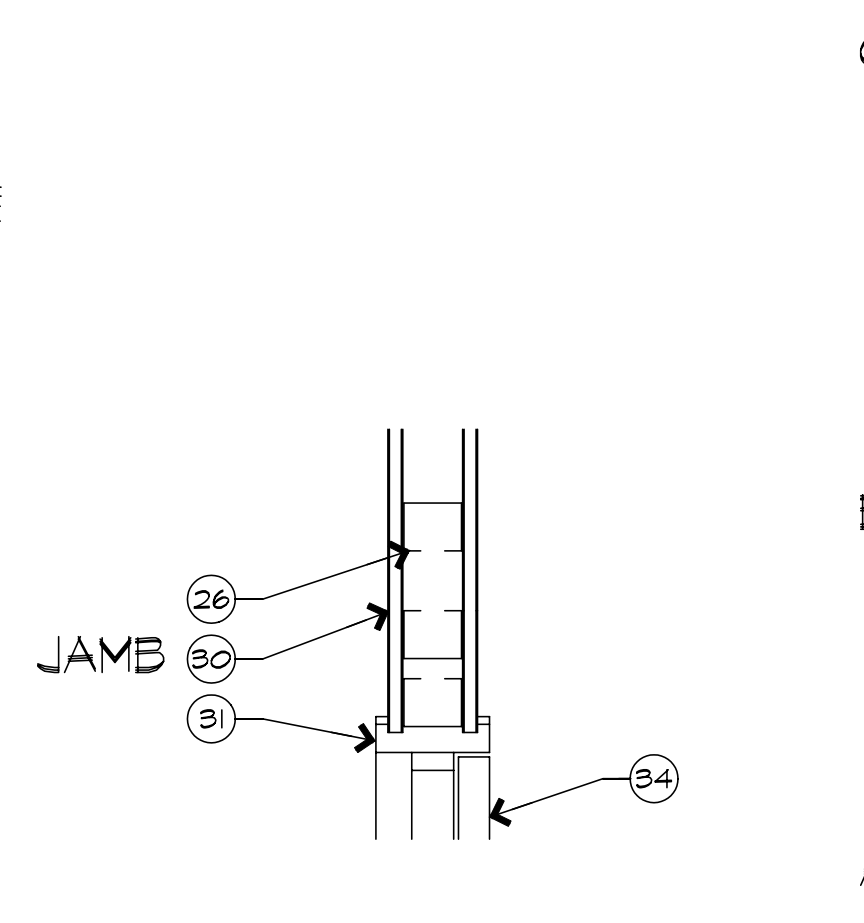
11 TYP. CMU DEMOLITION (ELEVATION)
NTS



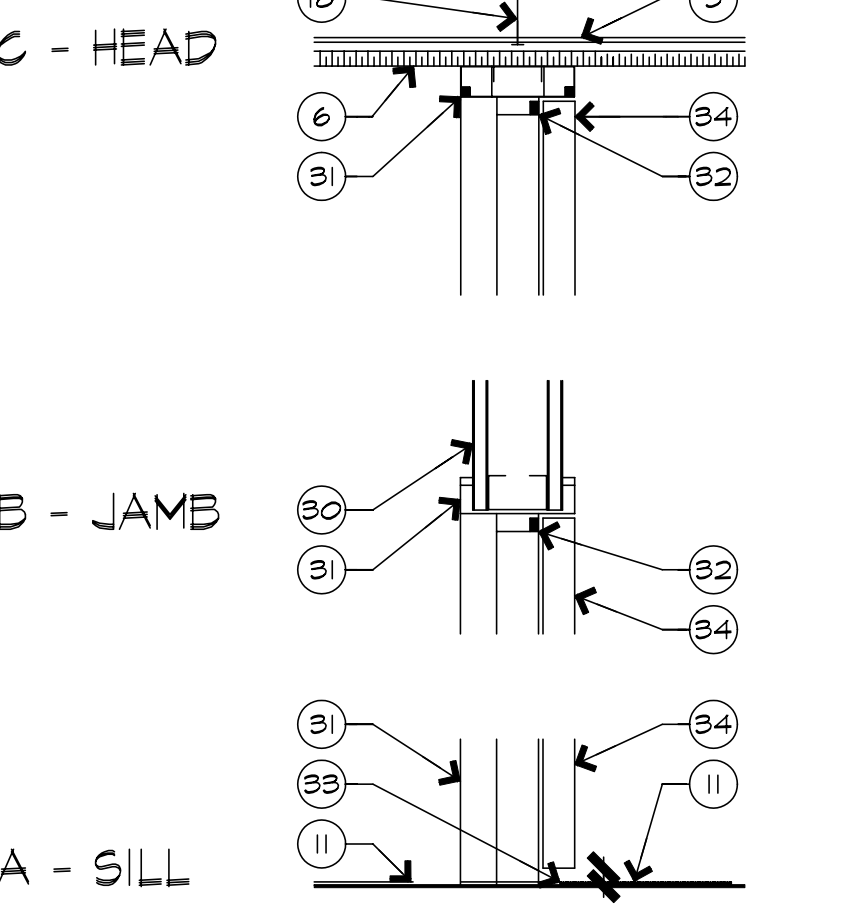
9 HOLLOW METAL FRAME DETAILS
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



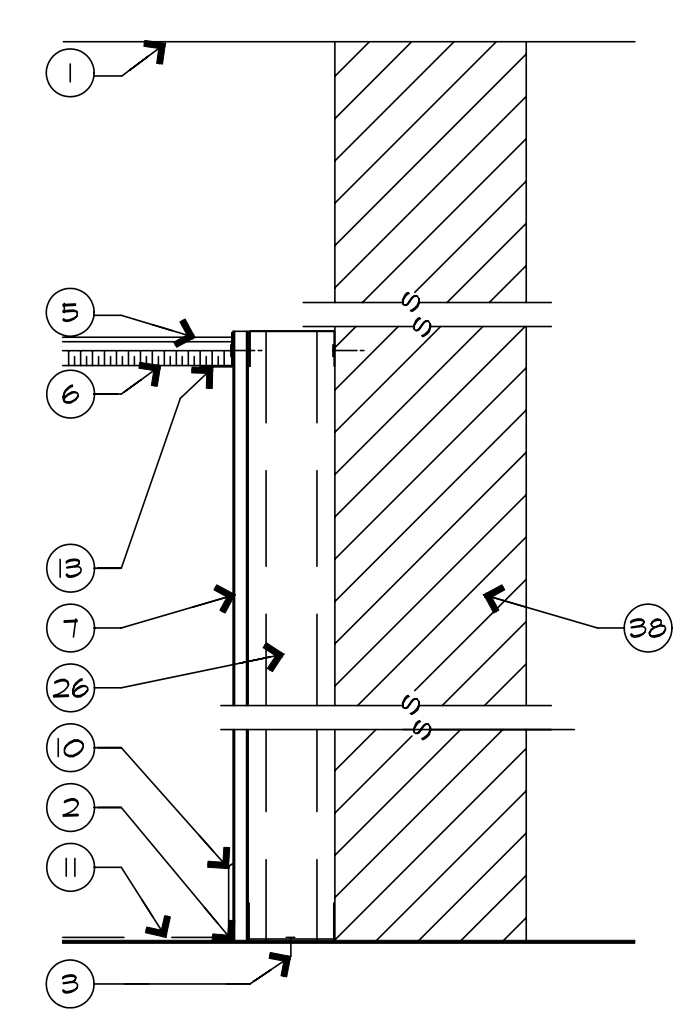
8 ALUM. FRAME DETAIL
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



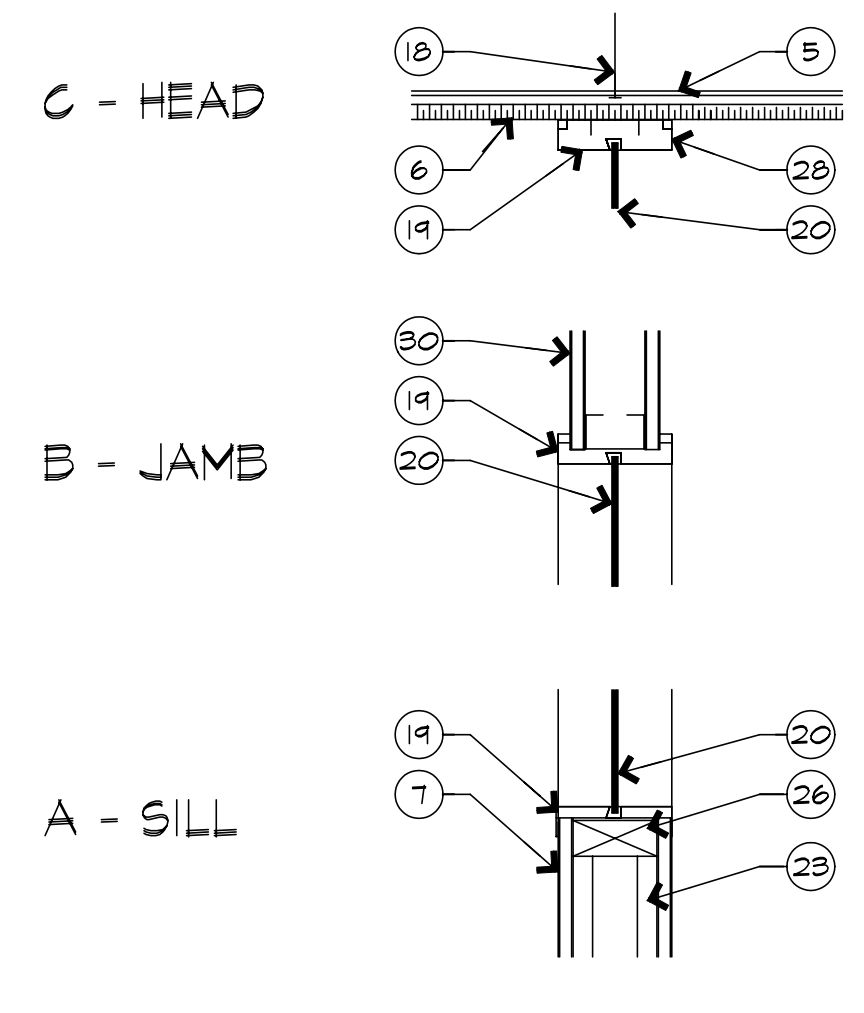
7 DOOR JAMB DETAIL
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



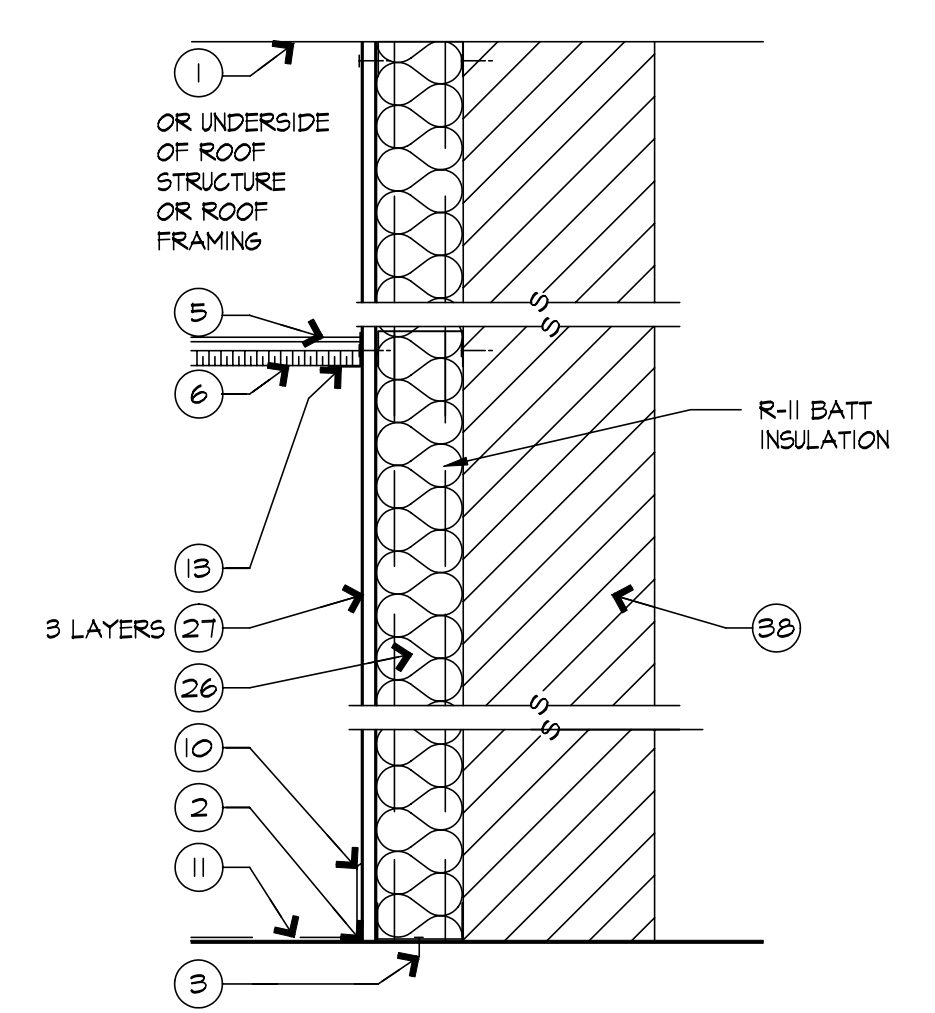
6 TYP. ALUM. FRAME DETAILS
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



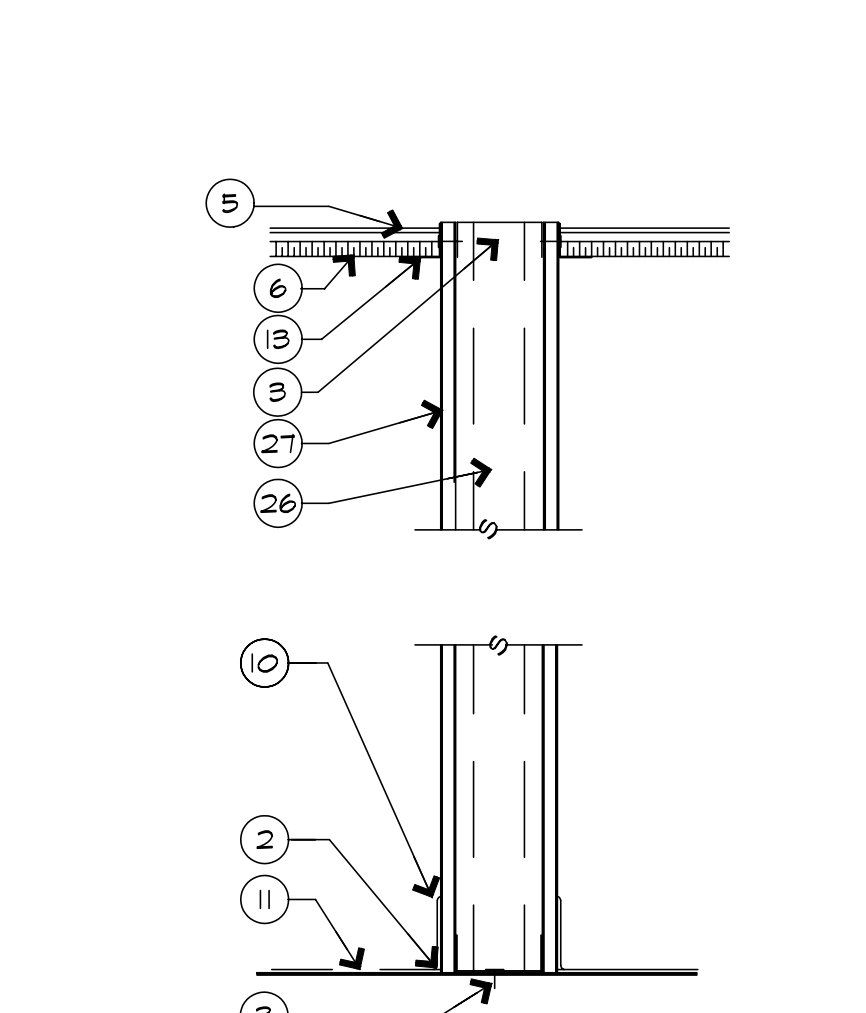
5 INTERIOR PARTITION AT CMU
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



4 TYP. ALUMINUM GLAZING DETAILS
1 1/2" = 1'-0"
SEE I/A9.1 FOR INSULATION, IF REQ'D.



2 INTERIOR PARTITION AT MASONRY
1 1/2" = 1'-0"



1 TYPICAL INTERIOR PARTITION
1 1/2" = 1'-0"

PROJ. DATE : 0418
PROJECT NO : WCL 1349
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REVISION :



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A9.1